

**MEETING AGENDA FOR
RECLAMATION DISTRICT NO. 1608
BOARD OF TRUSTEES REGULAR MEETING
8:00 A.M. FEBRUARY 7, 2024**

**NEUMILLER & BEARDSLEE
3121 WEST MARCH LANE, SUITE 100
STOCKTON, CALIFORNIA**

Call to Order.

Roll Call.

Agenda Items.

1. Public Comment. The public may comment on any matter within the District's jurisdiction that is not on the agenda. Matters on the agenda may be commented on by the public when the matter is taken up. All comments are limited to a maximum of 3 minutes for general public comments on items within the District's subject matter jurisdiction and 3 minutes before or during the Board's consideration of each agenda item, subject to the sole discretion of the Board President to allow additional time for a comment in accordance with Resolution 2019-04.
2. Approval of Minutes. Minutes of the regular meeting of December 6, 2023.
3. Financial Report. Review, discuss, and accept financial report.
4. Trustee Compensation. Discussion and Possible Action on Trustee Compensation. Request for direction.
5. Engineer's Report. Discussion and Possible Action on the following items.

I. PLAN REVIEW

A. Permit Requests from homeowners

- a) 6649 Embarcadero Drive
Village West Marina LLC.
APN 098-270-220
(650) 369-6746 John Pellarin's Office
(650) 303-4499 John Pellarin's Cell

Review of application for an elevated boardwalk serving as pedestrian access along a portion of the marina to complete an ADA pathway. Seek the Board of Trustees' approval for this application. KSN Inc. recommends approval. This elevated pathway is constructed in a manner to provide visual access of the top of slope through trapdoors on 12 ft centers whereas previously this area was blocked by a solid redwood fence.

This agenda shall be made available upon request in alternative formats to persons with a disability, as required by the Americans with Disabilities Act of 1990 (42 U.S.C. § 12132) and the Ralph M. Brown Act (California Government Code §54954.2). Persons requesting a disability related modification or accommodation in order to participate in the meeting should contact Elvia Trujillo at 209/948-8200 during regular business hours, at least forty-eight hours prior to the time of the meeting.

Materials related to an item on this Agenda submitted to the Trustees after distribution of the agenda packet are available for public inspection in the office of the District Secretary at Neumiller & Beardslee, 3121 West March Lane, Suite 100, Stockton, California during normal business hours.

- b) 6347 Embarcadero Drive
Charles and Farley Staniec.
APN 098-320-29
Index No. 1, Lot 2109
(916) 233-8191 Charles Cell
stancon@pacbell.net

Review status of application for remodel of pre-existing back yard landscaping. KSN Inc. has worked with the Staniec's to assure adequate spacing of new plants and new pavers with 1-inch gaps for walkways whereas previously this area was blocked by a solid redwood fence along with proper plant spacing.

- c) 6333 Embarcadero Drive
Michael and Krystle Balduzzi.
APN 098-310-04
Index No. 4, Lot 2104
(914) 733-2796
stancon@pacbell.net

Review of application for a remodeled backyard landscaping plan prepared by Landscape Architect Jeffrey Gamboni. KSN worked closely with Jeff Gamboni and revised the plan to comply with RD 1608 encroachment standards. One exception that KSN recommends approval of is the railing for a walkway of stairs on the landside slope. RD 1608's encroachment standards does not currently allow these handrails yet KSN Inc. is fine with approving them. Seek the Board of Trustees' approval for this application. KSN Inc. recommends approval.

II. LSRFS USACE FUNCTIONAL EQUIVALENT STUDY

- A. Review the status of the requested Functional Equivalent study evaluating the proposed improved levee alignment along RD 1608's Levee vs along RD 2119's levee.

6. Fall Newsletter. Discussion and direction.

- a. Prop 218 information.

7. District Vehicle. Discussion and possible action to authorize District Superintendent to purchase electric golf cart for District use.

8. Superintendent Report. Request for directions and approvals.

9. Meetings. Report by Trustees on meetings attended and up coming meetings. Request for direction.

10. Report and possible action on Progress of Tasks Assigned at Previous Board Meetings.

- a. Report on requirements of an employee bathroom.

11. Discussion and direction on Short-Term and Long-Range Goals.

This agenda shall be made available upon request in alternative formats to persons with a disability, as required by the Americans with Disabilities Act of 1990 (42 U.S.C. § 12132) and the Ralph M. Brown Act (California Government Code §54954.2). Persons requesting a disability related modification or accommodation in order to participate in the meeting should contact Elvia Trujillo at 209/948-8200 during regular business hours, at least forty-eight hours prior to the time of the meeting.

Materials related to an item on this Agenda submitted to the Trustees after distribution of the agenda packet are available for public inspection in the office of the District Secretary at Neumiller & Beardslee, 3121 West March Lane, Suite 100, Stockton, California during normal business hours.

12. District Calendar. Discussion and direction.

a. Next Meeting is March 6, 2024

13. Correspondence.

14. Approval of Bills.

15. Staff Reports.

(a) Attorney. The Agenda for this meeting was posted on the window outside the meeting room at 3121 West March Lane, Stockton, California, at least seventy-two (72) hours preceding the meeting.

16. Adjournment.

This agenda shall be made available upon request in alternative formats to persons with a disability, as required by the Americans with Disabilities Act of 1990 (42 U.S.C. § 12132) and the Ralph M. Brown Act (California Government Code §54954.2). Persons requesting a disability related modification or accommodation in order to participate in the meeting should contact Elvia Trujillo at 209/948-8200 during regular business hours, at least forty-eight hours prior to the time of the meeting.

Materials related to an item on this Agenda submitted to the Trustees after distribution of the agenda packet are available for public inspection in the office of the District Secretary at Neumiller & Beardslee, 3121 West March Lane, Suite 100, Stockton, California during normal business hours.

**AGENDA PACKET
RECLAMATION DISTRICT 1608**

<u>ITEM</u>	<u>COMMENTARY</u>
1.	Self-explanatory.
2.	Please see attached.
3.	Please see attached.
4.	Self-explanatory.
5.	Please see attached.
6.	Self-explanatory.
7.	Self-explanatory.
8.	Self-explanatory.
9.	Self-explanatory.
10.	Self-explanatory.
11.	Please see attached.
12.	Please see attached.
13.	Self-explanatory.
14.	Please see attached.
15.	Self-explanatory.
16.	Self-explanatory

Item 2

MINUTES OF THE REGULAR MEETING OF BOARD OF TRUSTEES
FOR RECLAMATION DISTRICT 1608
HELD ON WEDNESDAY, DECEMBER 6, 2023

A Regular Meeting of the Board of Trustees of Reclamation District 1608 was called to order at 8:00 a.m. by President Panzer on December 6, 2023, at the law offices of Neumiller & Beardslee, 3121 W. March Lane, Suite 100, Stockton, California.

TRUSTEES PRESENT

MICHAEL PANZER
DAN MacDONNELL
DOTTIE LOFSTROM

OTHERS PRESENT

CHRIS NEUDECK
ANDY PINASCO
JOE BRYSON
ELVIA TRUJILLO
ROBERT BENTZ
RHONDA OLMO (from 8:07 a.m. - 8:11 a.m.)

1. **Public Comment.** Mr. Bob Bentz asked whether there were any impacts to the levees due to the recent earthquakes. In response, District Engineer Chris Neudeck said there were no impacts to the levees associated with the recent earthquakes.
2. **Oath of Office.** Administer Oath of Office to President Panzer and Trustee Lofstrom. Notary Public Rhonda Olmo joined the meeting from 8:07 a.m. to 8:11 a.m. to administer the Oath of Office to President Panzer and Trustee Lofstrom in accordance with the law for appointment of a new term of office for President Panzer and Trustee Lofstrom.
3. **Approval of Minutes.** Minutes of the regular meeting of November 1, 2023 and minutes of the November 3, 2023 special meeting. The Trustees reviewed the draft minutes. After review, the November 1, 2023, minutes were approved as presented. Amendments were requested for the November 3, 2023, minutes to include the review of the levee standards and analyze the need to install a port-a-potty at the District's maintenance yard for use by District staff. Mr. Pinasco indicated he would be working with the employment law team to see what the requirements are for providing a port-o-potty. It was requested an item be added to the next agenda regarding the requirements of a port-a-potty. After further discussion,

It was moved, seconded (D. MacDonnell/D. Lofstrom) and unanimously carried by the Board Trustees of Reclamation District 1608, that the minutes of the November 1, 2023, Regular Board Meeting, be approved as presented.

It was moved, seconded (D. Lofstrom/D. MacDonnell) and unanimously carried by the Board Trustees of Reclamation District

1608, that the minutes of the November 3, 2023, Special Board Meeting, be approved with the requested amendment.

4. **Financial Report.** Review, discuss, and accept financial report. District Secretary Elvia Trujillo presented an oral and written report. After review,

It was moved, seconded (D. MacDonnell/D. Lofstrom) and unanimously carried by the Board of Trustees of Reclamation District 1608 that the Financial Report through the end of November 2023 be approved as presented.

5. **Engineer's Report.** Discussion and Possible Action on the following items.

I. PLAN REVIEW

A. Permit Requests from homeowners.

(a) 6347 Embarcadero Drive

Charles and Farley Staniec
Index No. 1, Lot No. 2109
APN 098-310-08
(916) 233-8191 Charles

Review an application for the “as-built” replacement on the landside slope of the District’s levee.

EXHIBIT A: November 11, 2023, Encroachment Application “as-built” landscape improvements on existing landside levee slope.

EXHIBIT B: Plans of “as-built” landscape improvements on existing landside levee slope.

EXHIBIT C: Original Plans September 1983.

EXHIBIT D: Plant palette for planning areas.

EXHIBIT E: Site photos of the lot.

Chris Neudeck reviewed the application and the exhibits with the Trustees. After much discussion, it was determined the outline of the areas be approved but the infill is not approved. Chris Neudeck is to find out what plants are going to be used since they have not been delineated in the plans. In addition, a solid walkway is not permitted or acceptable and Mr. Neudeck is to check how the pavers are intended to be used as they cannot be butted up one another. The fill to the headers has to be gravel, it cannot be solid. At this point, it was determined that only the borders be approved and not the infill. The Staniecs are to submit a complete landscape plan which Mr. Neudeck is to review and bring back to the Board. After further discussion,

It was moved, seconded (D. Lofstrom/D. MacDonnell) and unanimously carried by the Board of Trustees of

Reclamation District 1608 to approve the permit for the border only and requested the Staniecs submit a landscape plan for further consideration and permitting.

II. PROPOSITION 218 – NEW ASSESSMENT PROCEDURE

- A. Review status of Engineer’s Report development and meeting with Larsen Wurzel & Associates (LWA) on November 20, 2023 to review financial starting balance and long-range financing of Capital Improvement Projects.

Chris Neudeck reported on the meeting that took place on November 20, 2023 with LWA. He estimates the next dredging project at approximately 2 million dollars and indicated this figure factors in many expenses. There was analysis done on long-term debt and when the District would incur that debt for capital improvement projects. The new assessment should be similar in amount to the current assessment that will sunset in 2025. Mr. Neudeck indicated the report from LWA should be coming soon where LWA will be providing their financial analysis to the Board.

6. **Fall Newsletter.** Discussion and direction.
a. Prop 218 information.
Andy Pinasco reported a meeting regarding the next newsletter will be taking place with Trustee Lofstrom. It is anticipated a newsletter will go out the first quarter of next year.
7. **Superintendent Report.** Request for directions and approvals.
Joe Bryson provided an oral and written report. Please refer to the Levee Superintendent Report for a complete list of items.
8. **Meetings.** Report by Trustees on meetings attended and upcoming meetings. Request for direction. The Trustees reported the only meeting attended was the Special Meeting of November 3, 2023.
9. **Report and Possible Action on Progress of Tasks Assigned at Previous Board Meetings.** None.
10. **Discussion and direction on Short-Term and Long-Range Goals.**
The Short-Term and Long-Range Goals were reviewed and discussed. The following items are to be added to the Short-Term Goals:
- Review and analysis of Levee Standards.
 - Proposition 218.

11. **District Calendar.** Discussion and direction.
a. Next Meeting is January 3, 2024.

The District's calendar was reviewed and discussed. A change to the calendar was requested to revise the Board term for Trustee Lofstrom to 2027.

12. **Correspondence.** None of note.

13. **Approval of Bills.** District Secretary Elvia Trujillo presented an oral and written report on District expenses. After discussion and review,

It was moved, seconded (D. MacDonnell/D. Lofstrom) and unanimously carried by the Board of Trustees of Reclamation District 1608 that the list of Bills for Approval provided at the December 6, 2023, Board Meeting be approved as presented.

14. **Staff Reports.** None.

(a) Attorney. The agenda for this meeting was posted on the window outside the meeting room at 3121 West March Lane, Stockton, California, at least seventy-two (72) hours preceding the meeting.

15. **Adjournment.** The meeting adjourned at 9:10 a.m.

Respectfully submitted,

Elvia C. Trujillo
District Secretary

Acronyms Frequently Used

AC Repairs = Asphalt Concrete Repairs
CEQA = California Environmental Quality Act
District= Reclamation District 1608
DWR = Department of Water Resources
KSN = Kjeldsen, Sinnock & Neudeck
LWA = Larsen Wurzel & Associates
N&B = Neumiller & Beardslee
Prop 218 = Proposition 218
RD 1608 = Reclamation District 1608
SJAFCA = San Joaquin Area Flood Control Agency
USACE = United States Army Corps of Engineers

Item 3

RECLAMATION DISTRICT 1608
FINANCIAL REPORT - FEBRUARY 7, 2024
% OF FISCAL YEAR ELAPSED THROUGH END OF JANUARY 2024 - 58.33%

Budget Item	Budget Amount	Expended MTD	Expended YTD	% YTD
Operations & Maintenance Expenses				
O1 Levee Superintendent	\$80,000.00	\$7,568.00	\$55,411.95	69.26%
O2 Part Time Employees	45,000.00	3,997.50	40,337.05	89.64%
O3 Payroll Taxes and Expenses	15,000.00	903.89	6,427.92	42.85%
O4 Fences & Gates	2,500.00	0.00	0.00	0.00%
O5 Locks & Signs	1,000.00	0.00	0.00	0.00%
O6 Weed and Rodent Control & Clean up	15,000.00	0.00	4,861.56	32.41%
O7 Levee Repair Fund (General Operations & Maintenance)	30,000.00	1,922.00	25,801.72	86.01%
O8 Levee Repair Fund (Levee Capital Improvement Projects)	150,000.00	0.00	245,826.63	163.88%
O9 Pump System Maintenance	1,000.00	66.18	107.18	10.72%
O10 Wireless Services (Cell and Mobile Computer)	750.00	100.40	704.50	93.93%
O11 Garbage Service	5,000.00	0.00	2,446.43	48.93%
O12 District Vehicle (Fuel, Maintenance and Repairs)	5,000.00	263.49	2,695.16	53.90%
TOTAL	\$350,250.00	\$14,821.46	\$384,620.10	109.81%
General Expenses				
G1 Trustee Fees	\$13,000.00	\$899.76	\$6,898.16	53.06%
G2 Secretary Fees	12,000.00	2,047.38	7,620.39	63.50%
G3 Office Expenses (includes storage facility)	1,000.00	* 275.76	1,026.58	102.66%
G4 General Legal	30,000.00	7,549.34	12,341.71	41.14%
G5 Audit	5,500.00	0.00	240.00	4.36%
G6 County Administration Costs	6,000.00	4,648.86	4,648.86	77.48%
G7 Property and Liability Insurance	24,000.00	0.00	0.00	0.00%
G8 Workers Compensation Insurance	10,000.00	836.66	6,693.28	66.93%
G9 Election Costs	30,000.00	0.00	0.00	0.00%
G10 Newsletters & Public Communications	0.00	0.00	0.00	0.00%
G11 Registered Warrant Expenses	175,000.00	0.00	27,315.07	15.61%
TOTAL	\$306,500.00	\$16,257.76	\$66,784.05	21.79%
Engineering Expenses				
E1 General Engineering	\$20,000.00	\$5,018.66	\$9,913.71	49.57%
E2 Plan Review Engineering	25,000.00	3,658.85	4,576.35	18.31%
E3 Administration of Delta Levee Subventions Program	20,000.00	6,587.90	12,748.28	63.74%
E4 Periodic Levee Property Inspections and Surveys	0.00	0.00	0.00	0.00%
E5 Routine Levee Maintenance Consultation	3,500.00	0.00	1,770.00	50.57%
E6 Engineering, Mgmt & Inspection of Capital Imp. Projects	35,000.00	1,615.00	19,041.18	54.40%
E7 DWR 5 Year Plan	0.00	0.00	0.00	0.00%
E8 Assessment Engineering	4,000.00	68.75	4,165.93	104.15%
E9 Assesment Development	90,000.00	20,324.19	21,672.04	24.08%
TOTAL	\$197,500.00	\$37,273.35	\$73,887.49	37.41%
Warrant Interest Expenses				
Warrant Interest Expense	\$0.00	\$0.00	\$0.00	0.00%
TOTAL	\$0.00	0.00	\$0.00	0.00%
TOTAL EXPENDITURES	\$854,250.00	\$68,352.57	\$525,291.64	61.49%

* \$203.88 WordPress Website Renewal; \$71.88 Email Renewal

Budget Item	Anticipated Income	Income MTD	Income YTD	% YTD
Income				
Property Taxes	\$260,000.00	\$151,724.80	\$155,376.93	59.76%
Interest Income	4,000.00	0.00	7,202.62	180.07%
Assessments	298,000.00	151,976.18	152,445.59	51.16%
Subvention Reimbursement	130,000.00	0.00	133,352.00	102.58%
Other		2,947.00		
Totals	\$692,000.00	\$306,647.98	\$451,324.14	65.22%

* \$133,352.00 Subventions Reimbursement FY 2021/2022

* \$ Subventions Reimbursement FY 2022/2023

*** Settlement Payment for golf cart \$3,947 - \$1,000 (deductible) = \$2,947

Cash On Hand

Cash Balance as of July 1, 2023 \$334,949.34
Revenues (YTD), as December 31, 2023 452,515.51
Expenses (YTD), as of December 31, 2023 457,274.14

Fund Balance as of 1/29/2024 \$296,432.12
Proposed Warrants for February 7, 2024 Board Meeting \$48,076.91
TOTAL CASH \$248,355.21

Checking Account Balance as of 1/27/2024 \$12,328.08
TOTAL CASH ON HAND \$260,683.29

Reserves

Board-Designated Reserve (For District Operations Only) 100,000.00

5-Year Plan PFA	Transfers	Interest	\$37,500.00
Interest (10/31/2019)		\$176.00	\$37,676.00
Interest (1/31/2020)		\$176.00	\$37,852.00
Progress Billing No. 1 Transfer fo Funds (3/2/2020)	\$4,323.73		\$33,528.27
Interest (4/30/2020)		\$158.00	\$33,686.27
Progress Billing No. 2 Transfer fo Funds (6/30/2020)	\$1,822.75		\$31,863.52
Progress Billing No. 3 Transfer of Funds (7/31/2020)	\$4,667.62		\$27,195.90
Interest (7/31/2020)		\$107.00	\$27,302.90
Progress Billing No. 4 Transfer of Funds (9/11/2020)	\$4,078.12		\$23,224.78
Progress Billing No. 5 Transfer of Funds (9/11/2020)	\$5,071.50		\$18,153.28
Interest (10/31/2020)		\$52.00	\$18,205.28
Progress Billing No. 6 Transfer of Funds (12/3/2020)	\$2,373.75		\$15,831.53
Progress Billing No. 7 Transfer of Funds (12/3/2020)	\$3,489.75		\$12,341.78
Progress Billing No. 8 Transfer of Funds (12/3/2020)	\$2,718.00		\$9,623.78
Interest (1/31/2021)		\$19.00	\$9,642.78
Progress Billing No. 9 Transfer of Funds (2/23/2021)	\$5,296.50		\$4,346.28
Interest (4/30/2020)		\$6.00	\$4,352.28
Progress Billing No. 10 Transfer of Funds (5/18/2021)	\$307.12		\$4,045.16
Interest (7/31/2021)		3.00	\$4,048.16
Interest (10/31/2021)		3.00	\$4,051.16
Interest (1/31/2022)		3.00	\$4,054.16
Interest (4/30/22)		3.00	\$4,057.16
Progress Billing No. 11 Transfer of Funds (5/5/2022)	\$82.12		\$3,975.04
Progress Billing No. 12 Transfer of Funds (6/28/22)	\$655.87		\$3,319.17
Progress Billing No. 13 Tranfer of Funds (6/1/2022)	\$454.50		\$2,864.67
Interest (7/31/22)		5.00	\$2,869.67
Progress Billing No. 14 Transfer of Funds (9/12/2022)	\$119.25		\$2,750.42
Interest (10/31/22)		7.00	\$2,757.42
Interest (1/31/23)		14.00	\$2,771.42
Interest (4/30/23)		20.00	\$2,791.42

Interest (7/31/23)		24.00	\$2,815.42
Progress Billing No. 15 Transfer of Funds (7/7/2023)	\$59.62		\$2,755.80
Progress Billing No. 16 Transfer of Funds (9/15/2023)	\$1,191.37		\$1,564.43
Interest (10/31/23)		\$23.00	\$1,587.43

Item 5

**BOARD OF TRUSTEES MEETING
WEDNESDAY, FEBRUARY 7, 2024
8:00 A.M.
ENGINEER'S REPORT**

I. PLAN REVIEW

A. Permit Requests from homeowners

a) **6649 Embarcadero Drive**

Village West Marina LLC.
APN 098-270-220
(650) 369-6746 John Pellarin's Office
(650) 303-4499 John Pellarin's Cell

Review of application for an elevated boardwalk serving as pedestrian access along a portion of the marina to complete an ADA pathway. Seek the Board of Trustees' approval for this application. KSN Inc. recommends approval. This elevated pathway is constructed in a manner to provide visual access of the top of slope through trapdoors on 12 ft centers whereas previously this area was blocked by a solid redwood fence.

***EXHIBIT A: January 15, 2024, Encroachment
Application for an elevated ADA walkway improvements
on existing landside levee slope.***

***EXHIBIT B: Plans of an elevated ADA walkway
improvements on existing landside levee slope.***

b) **6347 Embarcadero Drive**

Charles and Farley Staniec.
APN 098-320-29
Index No. 1, Lot 2109
(916) 233-8191 Charles Cell
stancon@pacbell.net

Review status of application for remodel of pre-existing back yard landscaping. KSN Inc. has worked with the Staniec's to assure adequate spacing of new plants and new pavers with 1-inch gaps for walkways whereas previously

this area was blocked by a solid redwood fence along with proper plant spacing.

c) 6333 Embarcadero Drive

Michael and Krystle Balduzzi.

APN 098-310-04

Index No. 4, Lot 2104

(914) 733-2796

stancon@pacbell.net

Review of application for a remodeled backyard landscaping plan prepared by Landscape Architect Jeffrey Gamboni. KSN worked closely with Jeff Gamboni and revised the plan to comply with RD 1608 encroachment standards. One exception that KSN recommends approval of is the railing for a walkway of stairs on the landside slope. RD 1608's encroachment standards does not currently allow these handrails yet KSN Inc. is fine with approving them. Seek the Board of Trustees' approval for this application. KSN Inc. recommends approval.

EXHIBIT C: January 11, 2024, Encroachment Application for remodeled landscape plans on the existing landside levee slope.

EXHIBIT D: Plans for remodeled landscape plans on the existing landside levee slope.

II. LSRFS USACE FUNCTIONAL EQUIVALENT STUDY

- A. Review the status of the requested Functional Equivalent study evaluating the proposed improved levee alignment along RD 1608's Levee vs along RD 2119's levee.

EXHIBIT E: Email Correspondence dated Friday January 26, 2024 related thereto

Exhibit A

APN #

Index No. 09815006 Lot No. _____

APPLICATION FOR APPROVAL OF PLANS AND/OR ENCROACHMENT PERMIT

1. Application to the Reclamation District 1608 for approval to construct pedestrian walkway necessary to complete ADA path of travel.

2. Please check exhibits accompanying application.

- a. Location or vicinity map showing location of proposed work within the RD1608 area of responsibility, to permit visitation and inspection of work. Provide a marked-up copy of the RD1608 Boundary Map contained within the RD1608 Levee Encroachment Standards (Appendix E-1) to convey the appropriate location information (follow directions cited in Appendix E-1).
- b. A complete plan view and cross section of the proposed work, to scale, showing: dimensions; materials of construction and/or vegetative plantings; irrigation system; location of levee crown, toe and side slopes; relationship of the proposed work to the levee, adjacent home, RD1608 easement lines, and property lines; and any other notable feature within the lot.
- c. A cross section of the levee, berm, and stream area with dimensions and elevations of the levee crown, levee toes, floodplain, low water levee, etc., with reference to the U.S. Geological Survey, U.S. Corps of Engineers, or other datum generally used within the locale.
- d. Profiles of existing or proposed levees, fills, or other obstructions in the stream or overflow area with reference to the U.S. Geological Survey, U.S. Corps of Engineers, or other datum generally used within the locale.

3. Please Print or Type:

Name of Applicant Village West Marina, LLC Address-Zip Code 6649 EMBARCADERO Telephone Number 650 369-6746
Office Home (650) 303-4499

Signature John Pellin Date 1-15-24

4. Endorsement

We, the Trustees of Reclamation District 1608 at its meeting held on the _____ day of _____, 20____, hereby

APPROVE and give consent to the execution of the encroachment permit subject to the following conditions:

- Conditions listed on the back of this form
- Additional attached conditions.
- No conditions

DENY the application for the following reasons:

Date _____

Board of Trustees,
Reclamation District 1608

5. Name and address of owners of adjacent land parcels sharing a length of point of common boundary with the land upon which the contents of this application apply.

Name	Address	Zip Code
<i>N/A Ownership is the same as applicant on all adjacent parcels</i>		
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

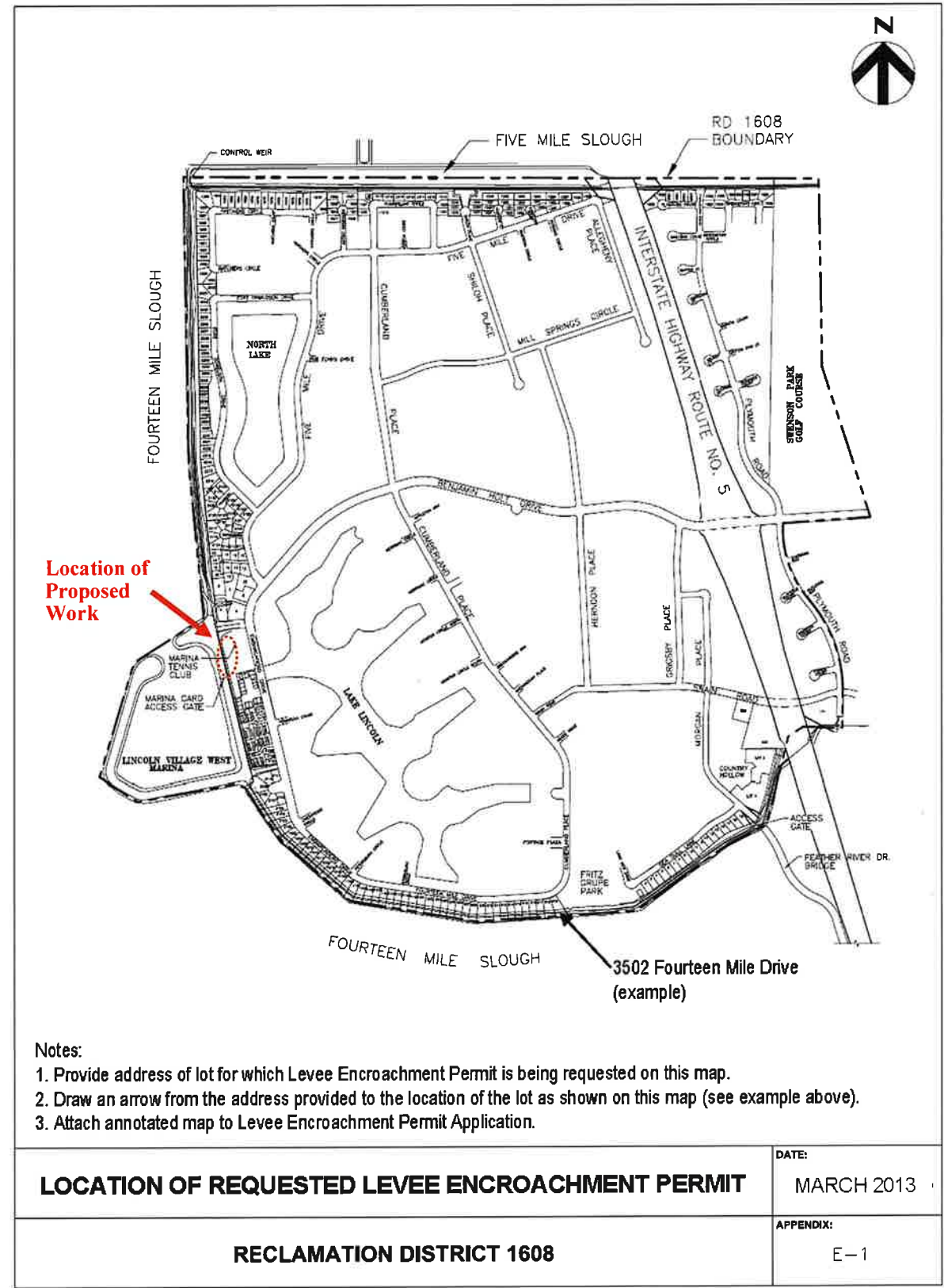
Conditions:

1. Comply with Reclamation District 1608 Levee Encroachment Standards.
2. Submit new application for any future encroachment within ten (10) feet of levee toe.

SEE ATTACHED ADDITIONAL CONDITIONS. IF BOX CHECKED ON FRONT PAGE

3. _____
4. _____
5. _____
6. _____
7. _____

Exhibit B



Location of Proposed Work

- Notes:
1. Provide address of lot for which Levee Encroachment Permit is being requested on this map.
 2. Draw an arrow from the address provided to the location of the lot as shown on this map (see example above).
 3. Attach annotated map to Levee Encroachment Permit Application.



LANDSCAPE LEGEND

- ASPHALT PAVEMENT**
Vehicular Asphalt Pavement
- VEHICULAR ENHANCED PAVEMENT**
Integral color concrete or joint Pavers
- CONCRETE PAVEMENT**
Concrete with acid etch finish
- ENHANCED CONCRETE PAVEMENT 1**
Integral color concrete with acid etch finish
- ENHANCED CONCRETE PAVEMENT 2**
Integral color concrete with special finish
- ENHANCED POOL PAVEMENT**
Grasshopper joint pattern or tile
- POOL STYLE PLANTING**
Shrub, ground covers, perennials, and grasses with Sculptural Quality
- GENERAL PLANTING**
Shrub, ground covers, perennials, and grasses
- EXISTING PLANTING**
- SCREENING TREES**
Columnar planting to screen views
- SPECIMEN TREE**
Old Growth Ancient Olive tree
- ACCENT TREE**
Small decorative tree
- PALM TREE**
Mediterranean palm type
- SHADE TREE**
Large Canopy tree
- SCREEN PLANTING**
Shrub to screen views
- 1 NEW PLANTERS**
Reconfigure planters for new parking and Hotel Entry
- 2 EXISTING PLANTING**
Existing parking lot planting
- 3 EXISTING TREES**
Existing site and street trees
- 4 EXISTING FENCING**
Existing 12' Chain Link fencing, install new privacy fabric on panels
- 5 NEW TENNIS COURT FENCING**
Installing 12' Chain Link fencing and gates
- 6 POOL FENCING**
4'x2' Ornamental Metal picket fencing, non-climb
- 7 SOLID POOL FENCING**
4'x2' Solid Redwood fencing, non-climb
- 8 SITE FENCING**
8'x2' Ornamental Metal picket fencing and gates
- 9 BOARD WALK**
ADA accessible decking with Guardrail
- 10 NEW CROSSING**
ADA accessible crossing with missing
- Observation Hatch** — See Sheet S1.0 for Detail
- Proposed Scope of Work**

CHARACTER IMAGES



BOARDWALK



SPECIMEN TREES



SCULPTURAL, TEXTURED, LOW WATER PLANTING AT POOL AND HOTEL ENTRY



ENHANCED VEHICULAR PAVEMENT AT MAIN ENTRY



SOLID POOL FENCING



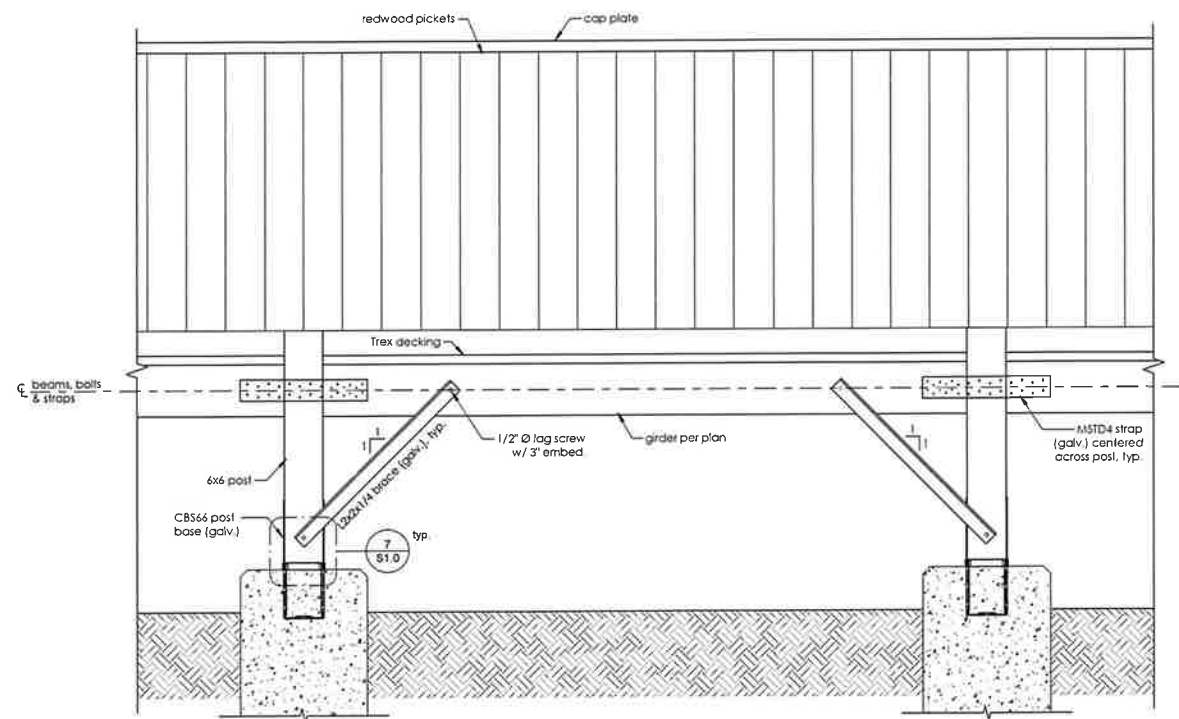
ORNAMENTAL METAL FENCE

QUADRIGA
landscape architecture and planning, inc.
sacramento | santa rosa
Contact: John Swensen, A51A, PLA #5344
916.441.2129 | john@quadriga-inc.com

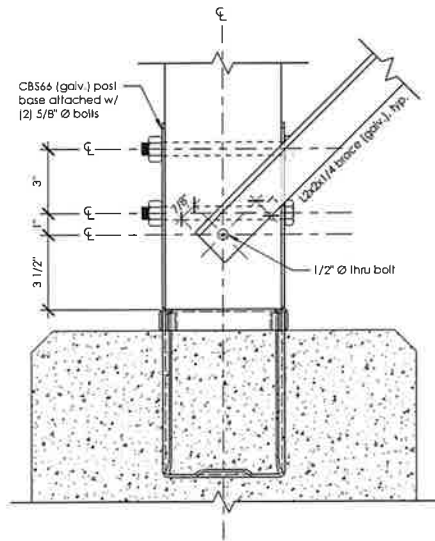
THE CLUB & HOTEL
STOCKTON, CA

OCTOBER 2023

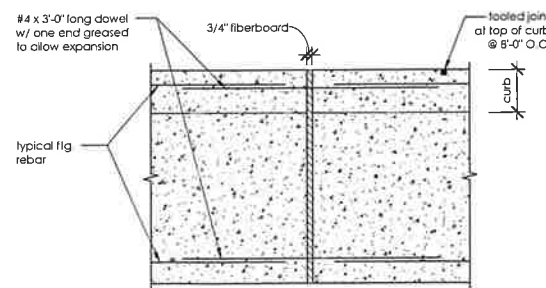




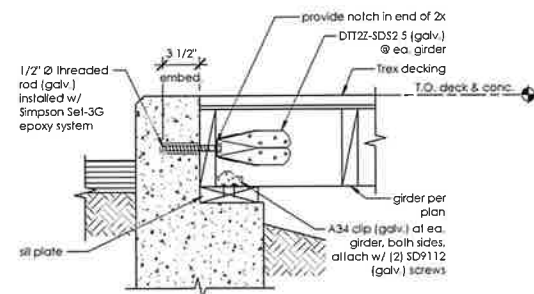
8 Braced Bay Elevation
S1.0 1" = 1'-0"



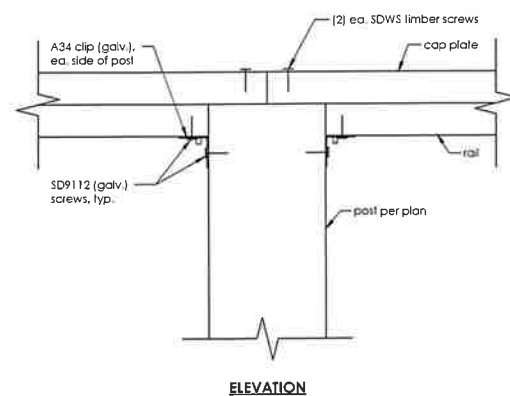
7 Brace Connection Detail
S1.0 3" = 1'-0"



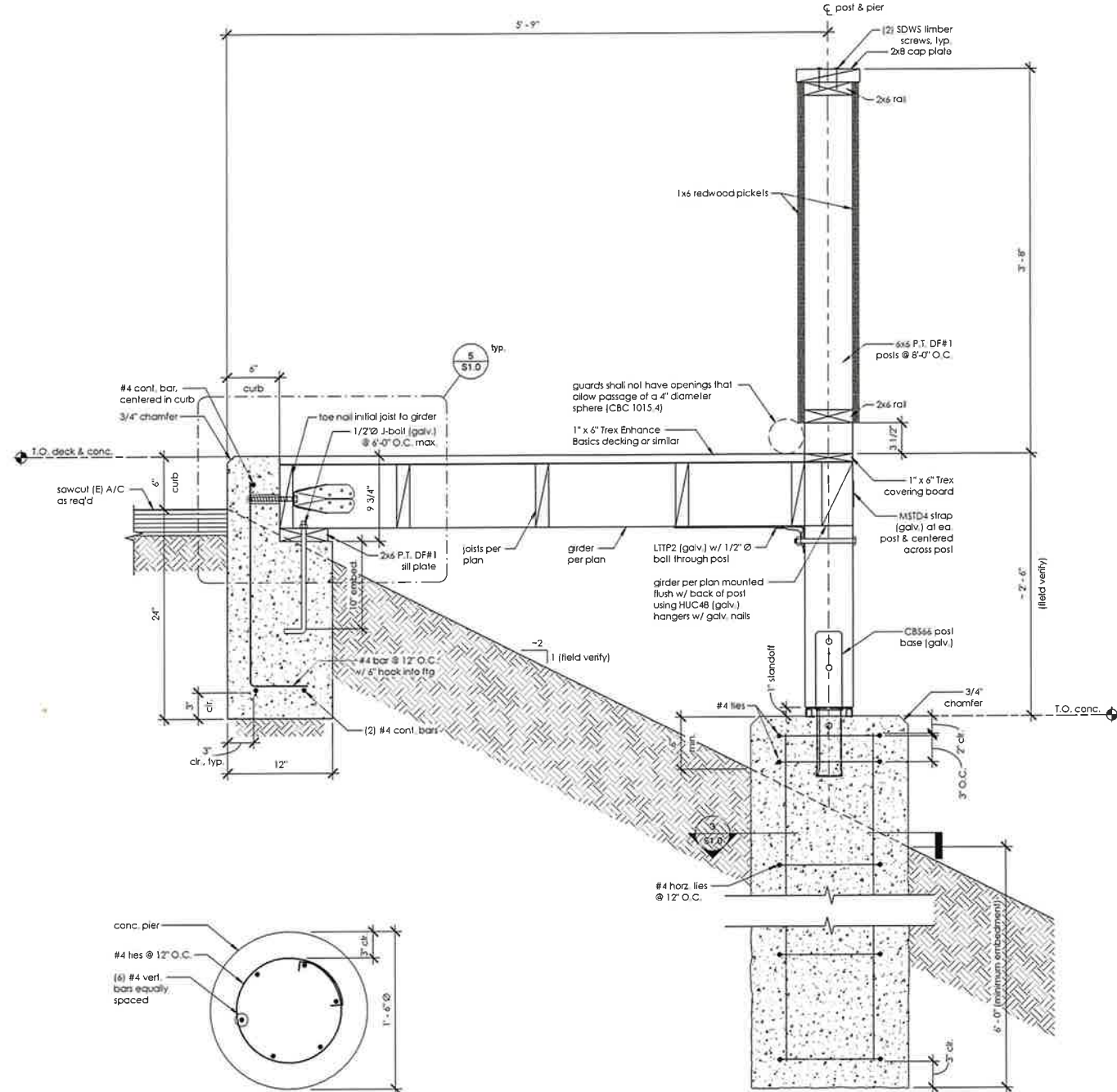
6 Expansion Joint (E.J.)
S1.0 1" = 1'-0"



5 Deck to Concrete Connection
S1.0 1 1/2" = 1'-0"

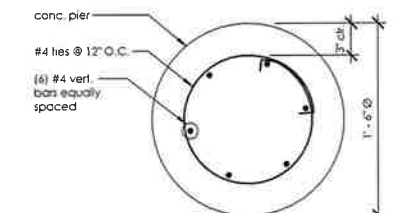


4 Guardrail Detail
S1.0 3" = 1'-0"

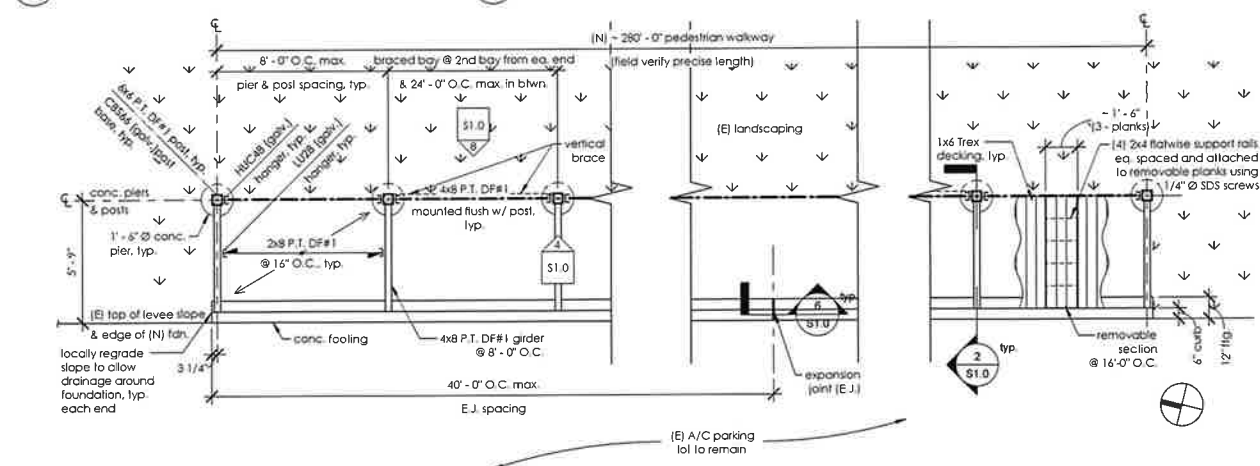


2 Cross Section of Walkway
S1.0 1 1/2" = 1'-0"

3 Drilled Pier Section
S1.0 1 1/2" = 1'-0"



1 Pedestrian Walkway Foundation & Framing Plan
S1.0 1/4" = 1'-0"



Pedestrian Walkway

6545 Embarcadero Drive
Stockton, CA 95219

Drawn By: GR
 Checker: HJT
 Job #: 154655
 Scale: Noted

#	Date	Description
12/04/2023	Client Review	
12/15/2023	Client Review	
01/12/2024	CVCI Plan Check	



2132 N El Dorado St
Stockton, CA 95204
(209) 227-7846



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Walkway Details

S1.0



Architect:
 LDA Partners, Inc.
 Designers & Architects
 222 Central Court
 Stockton, CA 95204
 209 943 0405
 www.ldapartners.com



Client:
PELLARIN ENTERPRISES
 6302 W. MARCH LN, STE # 120
 STOCKTON, CA 95219
 650-369-6746

Project:
**6545 EMBARCADERO DR.,
 STOCKTON, CA 95219**

Project No.: 140-003
 Drawn By: RSC
 Checked By: RSC

Description	Date	By

YOGA STUDIO
 10/04/2022

EXISTING CROSS SECTION

NOT FOR CONSTRUCTION

CX1

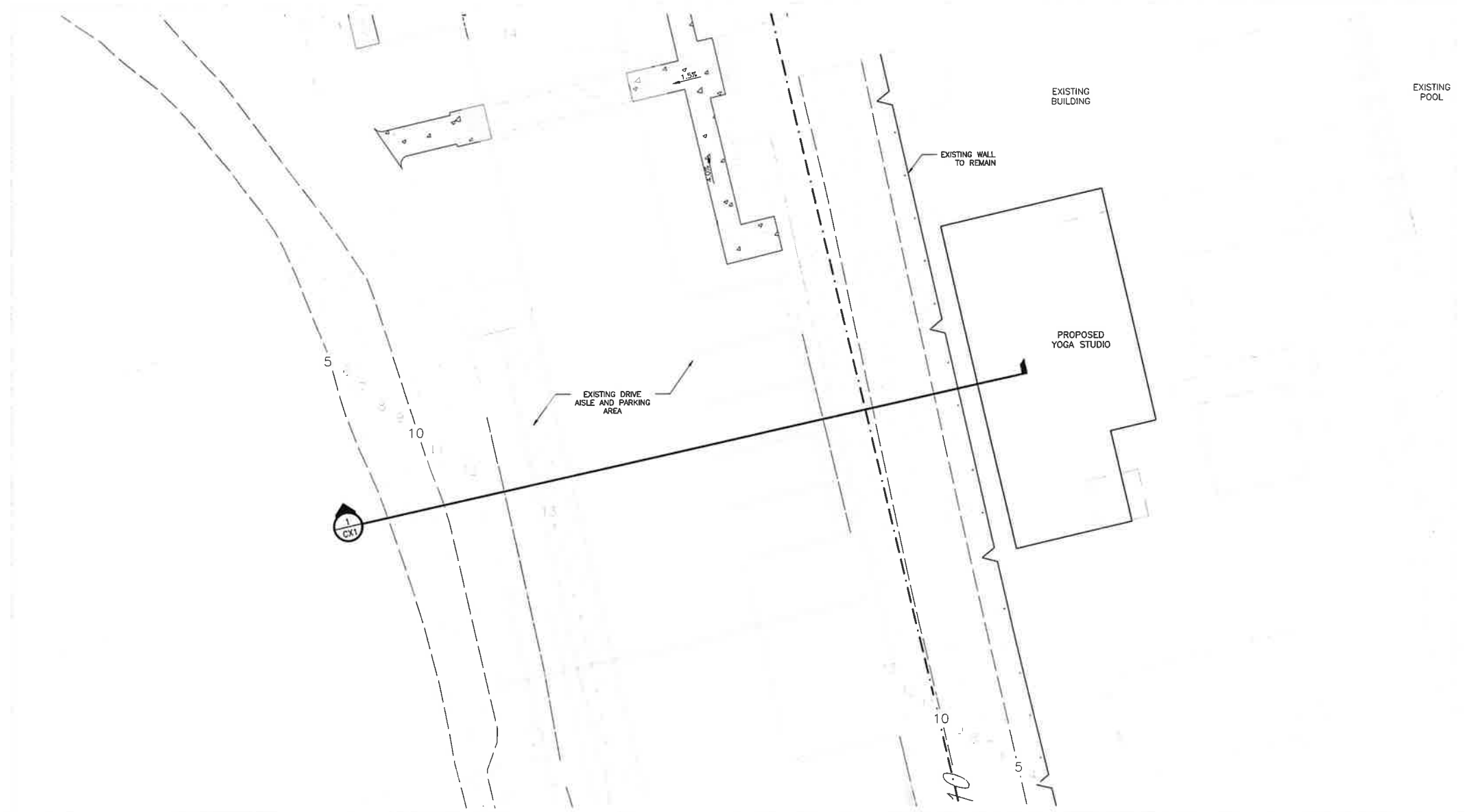
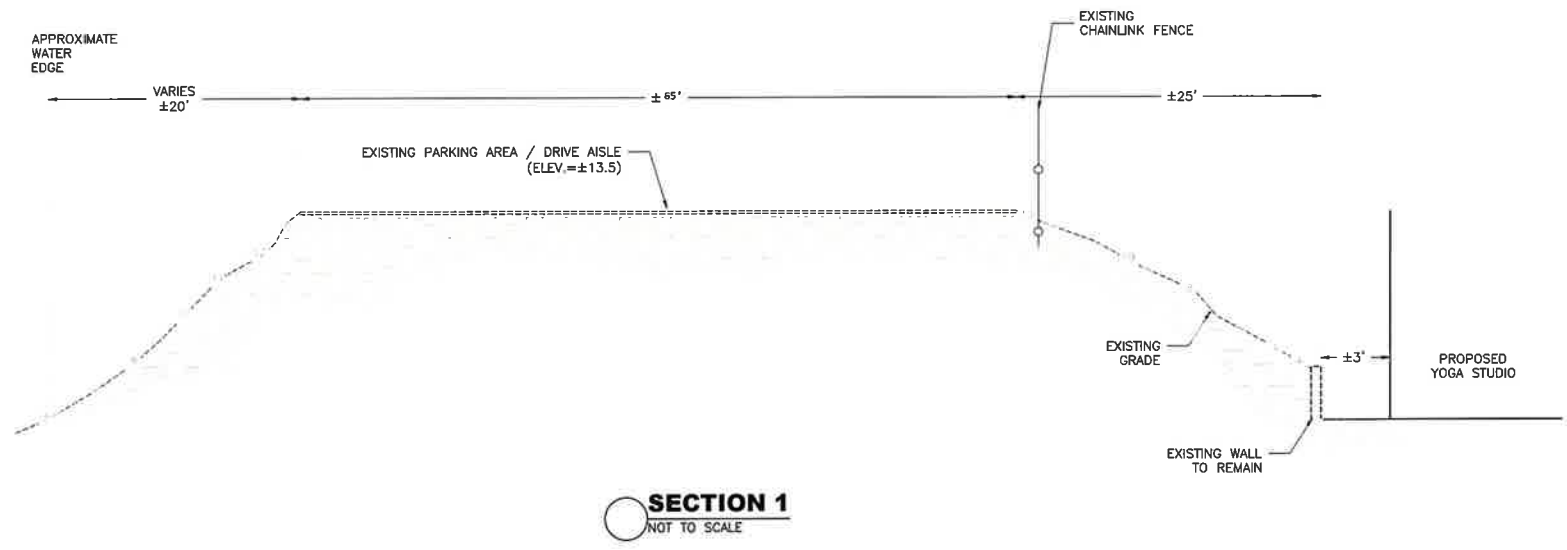


Exhibit C

Index No. _____ Lot No. _____

APPLICATION FOR APPROVAL OF PLANS AND/OR ENCROACHMENT PERMIT

1. Application to the Reclamation District 1608 for approval to replace Grass & Artificial turf and
replace existing Mauer-Curb. Plant new grasses & shrubs

2. Please check exhibits accompanying application.

- a. Location or vicinity map showing location of proposed work within the RD1608 area of responsibility, to permit visitation and inspection of work. Provide a marked-up copy of the RD1608 Boundary Map contained within the RD1608 Levee Encroachment Standards (Appendix E-1) to convey the appropriate location information (follow directions cited in Appendix E-1).
- b. A complete plan view and cross section of the proposed work, to scale, showing: dimensions; materials of construction and/or vegetative plantings; irrigation system; location of levee crown, toe and side slopes; relationship of the proposed work to the levee, adjacent home, RD1608 easement lines, and property lines; and any other notable feature within the lot.
- c. A cross section of the levee, berm, and stream area with dimensions and elevations of the levee crown, levee toes, floodplain, low water levee, etc., with reference to the U.S. Geological Survey, U.S. Corps of Engineers, or other datum generally used within the locale.
- d. Profiles of existing or proposed levees, fills, or other obstructions in the stream or overflow area with reference to the U.S. Geological Survey, U.S. Corps of Engineers, or other datum generally used within the locale.

3. Please Print or Type:

Name of Applicant Address-Zip Code Telephone Number
Michael & Krystle Balducci 6333 Embarcadero Dr. Stockton CA Office _____ Home 914 733 2796
95219
Signature _____ Date 1/11/2024

4. Endorsement

We, the Trustees of Reclamation District 1608 at its meeting held on the _____ day of _____, 20____, hereby

- APPROVE and give consent to the execution of the encroachment permit subject to the following conditions:
- Conditions listed on the back of this form
 - Additional attached conditions.
 - No conditions

DENY the application for the following reasons:

Date _____

Board of Trustees,
Reclamation District 1608

5. Name and address of owners of adjacent land parcels sharing a length of point of common boundary with the land upon which the contents of this application apply.

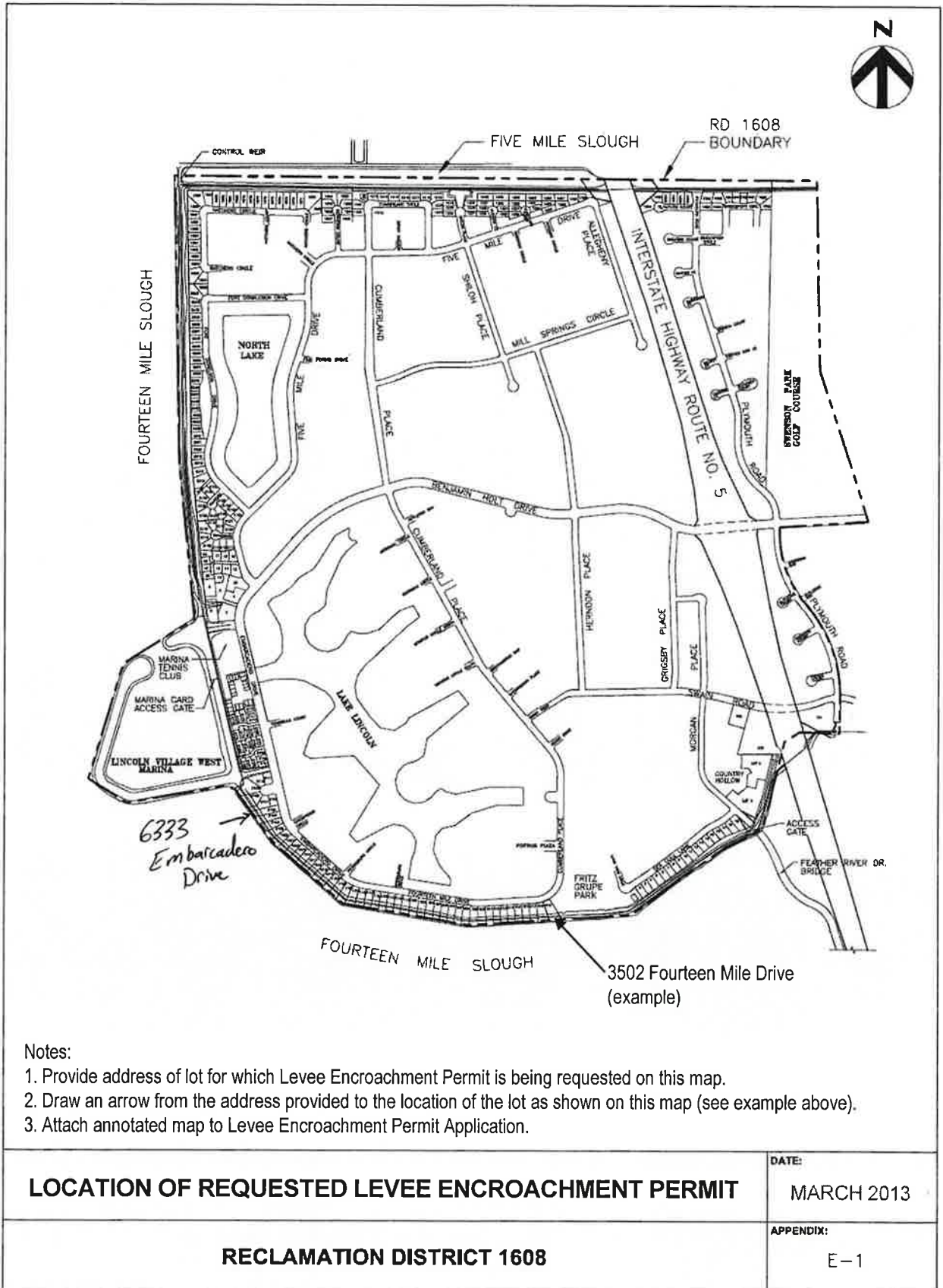
<u>Name</u>	<u>Address</u>	<u>Zip Code</u>
Mike Panzer	6329 Embarcadero Dr.	95219
Mike Ratto	6 339 Embarcadero Dr.	95219.
Joe mathie	633 9 Embarcadero Dr.	95219

Conditions:

1. Comply with Reclamation District 1608 Levee Encroachment Standards.
2. Submit new application for any future encroachment within ten (10) feet of levee toe.

SEE ATTACHED ADDITIONAL CONDITIONS. IF BOX CHECKED ON FRONT PAGE

3. _____
4. _____
5. _____
6. _____
7. _____



Notes:

1. Provide address of lot for which Levee Encroachment Permit is being requested on this map.
2. Draw an arrow from the address provided to the location of the lot as shown on this map (see example above).
3. Attach annotated map to Levee Encroachment Permit Application.

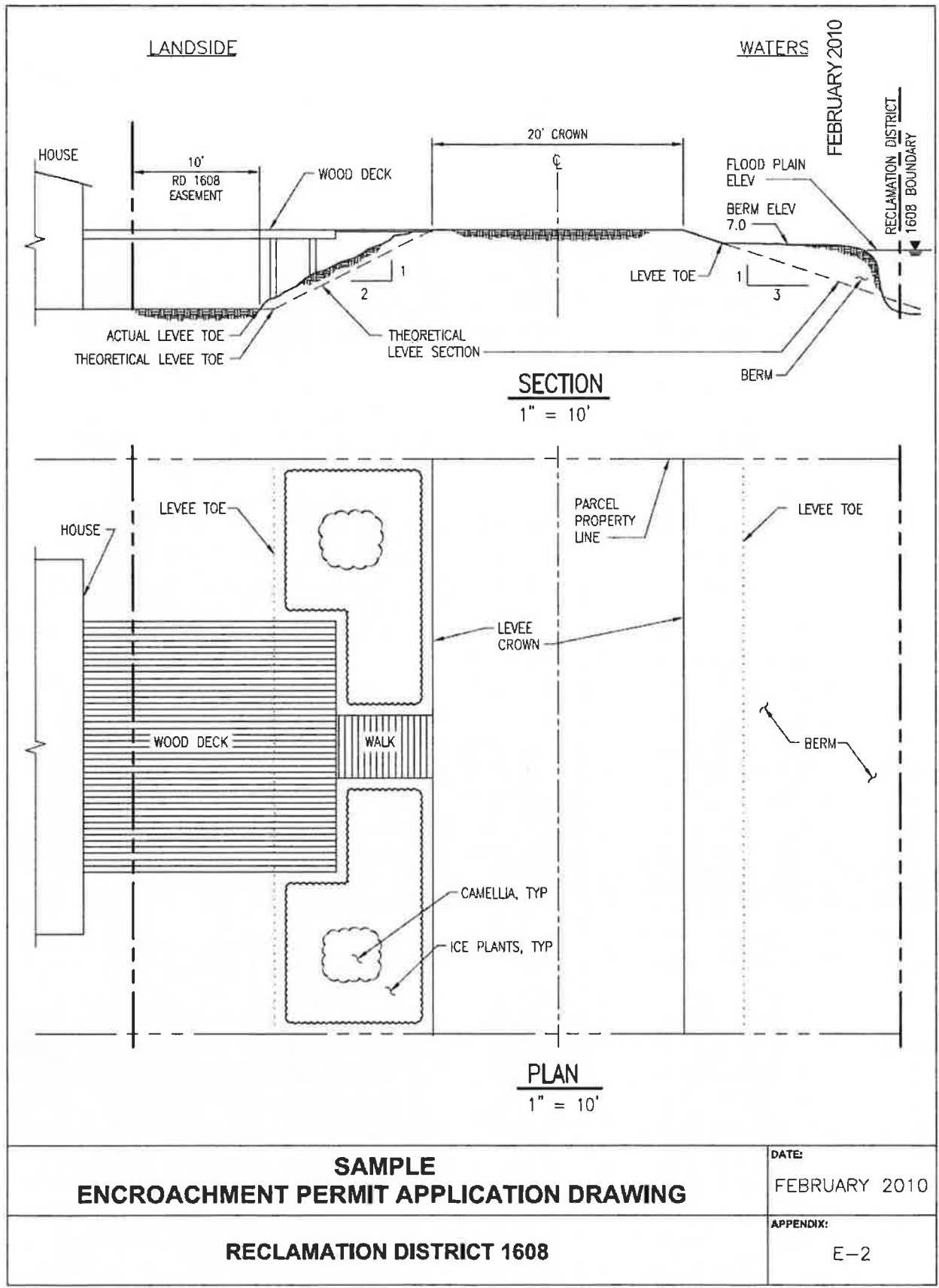
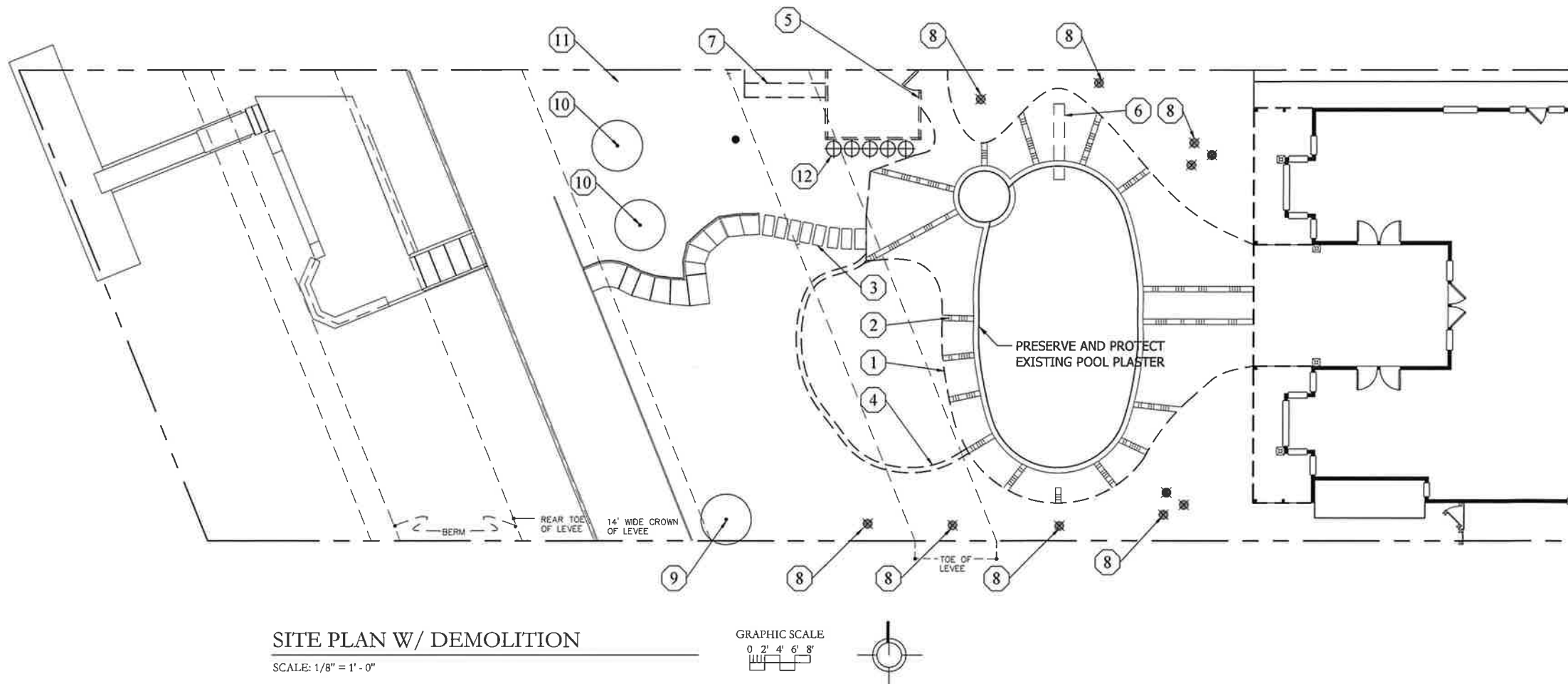
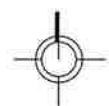
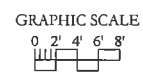


Exhibit D



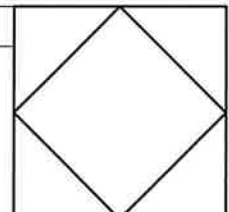
SITE PLAN W/ DEMOLITION

SCALE: 1/8" = 1' - 0"



DEMOLITION KEYNOTES

- ① Existing concrete to remove
- ② Existing brick band to remove
- ③ Existing wood steps to renovate
- ④ Existing concrete band to remove
- ⑤ Existing enclosure to replace
- ⑥ Existing diving board to remove
- ⑦ Existing potting table to remove
- ⑧ Grind all stumps
- ⑨ Existing Xylosma to remain
- ⑩ Existing Plumbago to remain
- ⑪ Remove misc. plants under direction of Landscape Architect
- ⑫ Existing irrigation valve manifold



THE OFFICE OF
JEFFREY F. GAMBONI
LANDSCAPE ARCHITECT 2702
3012 PACIFIC AVENUE
STOCKTON 95204
209 948 8335

BALDUZZI RESIDENCE
6333 Embarcadero Drive
Stockton, CA

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SHEET INDEX

SHEET #	DESCRIPTION
L-1	SITE PLAN W/DEMOLITION
L-2	LAYOUT PLAN
L-3	GRADING & DRAINAGE PLAN
L-4	IRRIGATION PLAN
L-5	PLANTING PLAN
L-6	LIGHTING PLAN
DTL-1	DETAILS
DTL-2	DETAILS
DTL-3	DETAILS
DTL-4	DETAILS

ABBREVIATIONS

V.I.F.	Verify In Field
(N)	New
(E)	Existing
EM	Existing Electric Meter
WM	Existing Water Meter
GM	Existing Gas Meter
HB	Hose Bibb
MIN	Minimum
MAX	Maximum
OC	On Center
CL	Center Line
WP	Water Proof
GFI	Ground Fault Interrupter

LEGEND

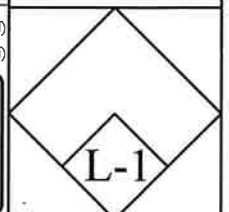
SYMBOL	DESCRIPTION
⬇	Existing WP/GFI Outlet
T	Lighting Transformer
C	Irrigation Controller
⊠	Existing Downspout
*	Existing Light
⬆	Existing Spot or Flood Light
~	New Expansion Joint

This project shall comply with 2019 CRC, CPC, CMC, & CEC.

DATE	REVISION SET
22 AUGUST 2023	
DRAWN BY: JFG	
CHECKED BY: JEFFREY F. GAMBONI	
FILE: BAL 23 33 DWG	

DRAWING STATUS

- DESIGN DEVELOP. DWGS. (NOT FOR CONSTRUCTION)
- CHECK SET (NOT FOR CONSTRUCTION)
- PLAN CHECK DWGS.
- BID SET DWGS.
- CONSTRUCTION DOCUMENTS
- OTHER _____



GENERAL NOTES

- The Contractor shall be responsible for all permits and licenses required for the construction and completion of this project.
- It is intended that these plans and specifications require all labor and materials necessary and proper for the work contemplated and that the work be completed in accordance with their true intent and purpose. The Contractor shall notify the Landscape Architect immediately regarding any discrepancies and ambiguities which may exist in the plans and specifications. If the plans or specifications describe portions of the work in general terms but not in complete detail, it is understood that only the best general practice is to prevail and that only materials and workmanship of the first quality are to be used.
- Construction Contractor agrees that in accordance with generally accepted practice, Contractor will be required to assume sole and complete responsibility for the job site including safety of all persons and property; that this requirement shall be made to apply continuously and not be limited to normal working hours, and Construction Contractor further agrees to defend, indemnify and hold the design professional harmless from any and all liability, real or alleged, in connection with the performance of the work, on this project, excepting liability arising from sole negligence of design professional.
- The Contractor shall verify location of all existing underground utilities and shall contact the respective utility companies prior to commencement of work. He shall be responsible for the location and preservation of all such facilities in the area of construction. Call Underground Service Alert at (800) 227-2600 48 hours before excavation commences to verify utility locations. Contractor to repair any damage caused by, or during, the performance of his work at no additional cost to the owner.
- All irrigation, drainage and lighting sleeving to be provided by Landscape Contractor. All electrical sleeving to be provided by Electrical Contractor.
- Drain lines: to slope a minimum of 1/8" per foot.
- Paved areas to slope a minimum of 1/8" per foot. Slope to patios not to exceed 2%, slope at walkways and driveways not to exceed 5%, cross slopes not to exceed 2%.
- Landings at doors must be at least 36" deep.
- Riser and tread relationship: the rise of every step shall not be less than 4" or greater than 7". The tread shall not be less than 11". The largest tread run within any flight of stairs shall not exceed the smallest by more than 3/8". The greatest riser height within any flight of stairs shall not exceed the smallest by more than 3/8".
- Stairways of four or more risers must have handrails. The top of handrails and handrail extensions shall be placed not less than 34" or more than 38" above the nosings of the treads and landings.
- Do not scale drawings. Call Landscape Architect for clarification.
- All construction shall comply with Title 24, current CBC, CPC, CMC and CEC.
- Expansion joints (aka E.J. or isolation joints) are required in areas of potential stress such as where slabs abut existing structures, curbs, stairs, manholes, utility poles, at the intersection of walks and other things. Dowels are required to stabilize adjacent concrete elements. Frontier Poli-Void is a flexible Poly Ethylene expansion material used in providing the full expansion joint necessary to separate precast coping stones, brick coping or other pool copings from the concrete pool deck. This product has a 3/8 inch tear away that prepares the joint for Stegmeier's Frontier Seal. With the 3/8" tear strip in an upward position, apply adhesive one-half inch below the tear strip section so as not to interfere with the bonding of the joint sealant. The concrete is poured to the opposite side and edged with a 1/4" edger. The deck surface should be allowed to cure before the 3/8" tear strip is removed. After removal apply 1/2" Frontier Poli-Void by Stegmeier into expansion joint.
- If you sell, store, use, discard or otherwise handle muriatic acid you are responsible for knowing about and obeying applicable waste laws. Unlawful storage, transportation, or disposal of waste muriatic acid is punishable by imprisonment in county jail, or state prison, and/or fines of up to \$250,000 per violation. If you don't know the regulations, call the local management division or certified unified program agency.
- Saw-cutting, core-drilling and jack hammering of masonry and concrete must be performed by professionals who are properly trained in these processes including but not limited to: layout; proper use of equipment; safety gear; eye and ear protection; identification of hidden elements such as reinforcing, post-tension cables, utilities (sewer, water, elect, cable, gas, etc.); and removal and proper disposal of waste materials. Design professional is not responsible for damage caused to existing improvements during these processes.

KEYNOTES

		SHEET #	DETAIL #
①	Stamped concrete flatwork to match existing	DTL-1	1
②	(N) Columns at (N) arbor	-	-
③	IPE Planter	DTL-1	7
④	Spa over (N) concrete pad (apx 8'X8')	DTL-1	7
⑤	Artificial turf	DTL-1	3
⑥	8" concrete band Finish: Broom Color: Natural	DTL-1	4
⑦	Enclosure w/ trellis on top	DTL-1	8
⑧	30"X30" Concrete pads to match (E) stamped concrete	DTL-1	1
⑨	Poured-in-place concrete coping	DTL-2	3
⑩	Masonry outdoor kitchen w/stone countertop	DTL-2	1
⑪	Expansion joint	DTL-1	2
⑫	(N) Attached covered patio Option 1: louvered patio cover to match existing Option 2: alumawood arbor	-	-
⑬	IPE steps 1"X5.5" boards	DTL-1	9
⑭	(N) concrete to match existing stamped flatwork w/ 8" artificial turf ribbon	DTL-1	6
⑮	24"X24" concrete pads to match existing stamped concrete	DTL-1	1
⑯	(E) concrete and A/C units	-	-
⑰	(E) outline of balcony above	-	-
⑱	(N) Concrete steps	DTL-1	5
⑲	(N) 1-1/2" Ø black steel handrail	DTL-2	2
⑳	(E) Temporary fencing in (N) location	-	-

THE OFFICE OF
JEFFREY F. GAMBONI
LANDSCAPE ARCHITECT 2702
3012 PACIFIC AVENUE
STOCKTON 95204
209 948 8335

BALDUZZI RESIDENCE
6333 Embarcadero Drive
Stockton, CA

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LAYOUT PLAN

This project shall comply with 2019 CRC, CPC, CMC, & CEC.

LEGEND

SYMBOL	DESCRIPTION
⬇	Existing WP/GFI Outlet
⊠	Lighting Transformer
⊞	Irrigation Controller
⊞	Existing Downspout
*	Existing Light
⬆	Existing Spot or Flood Light
~	New Expansion Joint

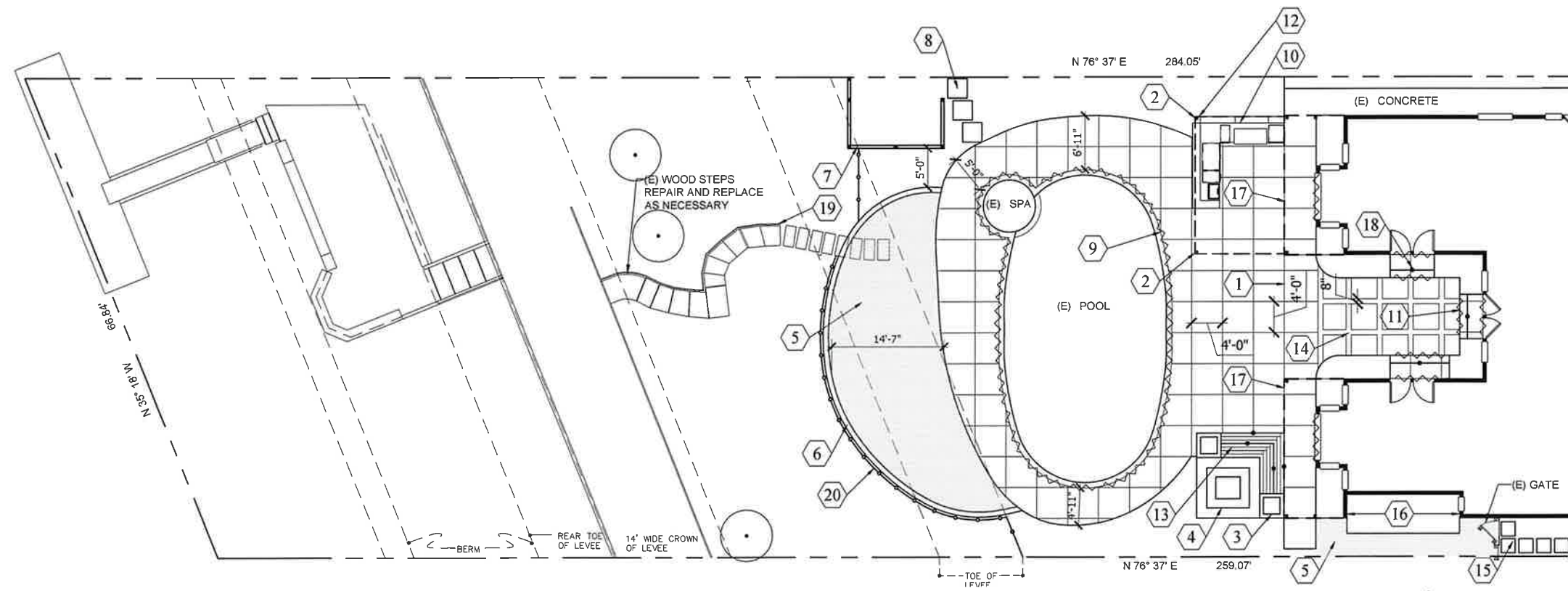
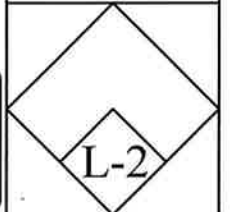
DRAWING STATUS

- INFORMATION DWGS (NOT FOR CONSTRUCTION)
- PRELIMINARY DWGS (NOT FOR CONSTRUCTION)
- DESIGN DEVELOP. DWGS (NOT FOR CONSTRUCTION)
- CHECK SET (NOT FOR CONSTRUCTION)
- PLAN CHECK DWGS
- BID SET DWGS
- CONSTRUCTION DOCUMENTS
- OTHER _____



DATE	REVISION SET
22 AUGUST 2023	JPG
	JEFFREY F. GAMBONI
	RAL 23-33 DWG

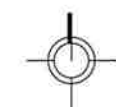
DATE: 22 AUGUST 2023
DRAWN BY: JPG
CHECKED BY: JEFFREY F. GAMBONI
FILE: RAL 23-33 DWG

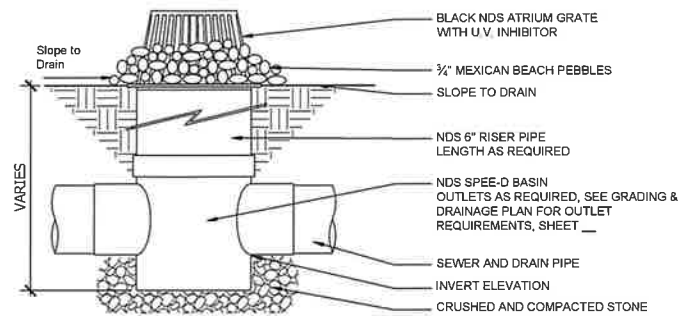


LAYOUT PLAN

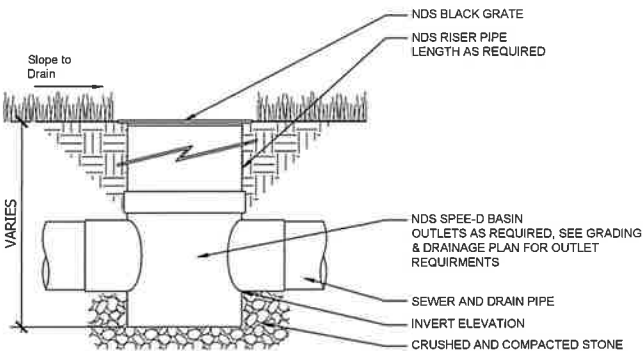
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GRAPHIC SCALE
0 2' 4' 6' 8'

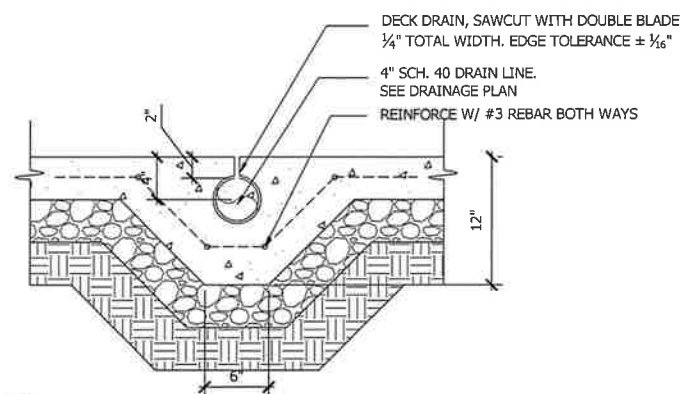




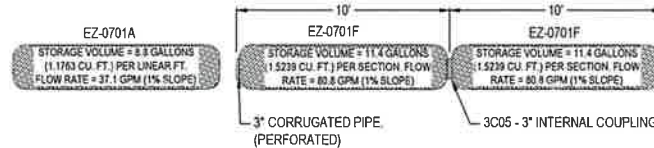
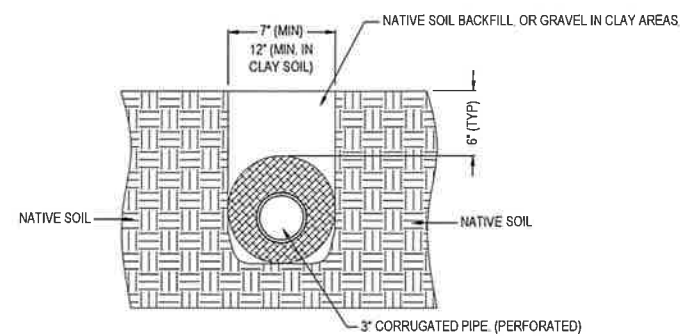
1 CATCH BASIN WITH ATRIUM GRATE
NO SCALE



2 CATCH BASIN WITH BLACK GRATE
NO SCALE



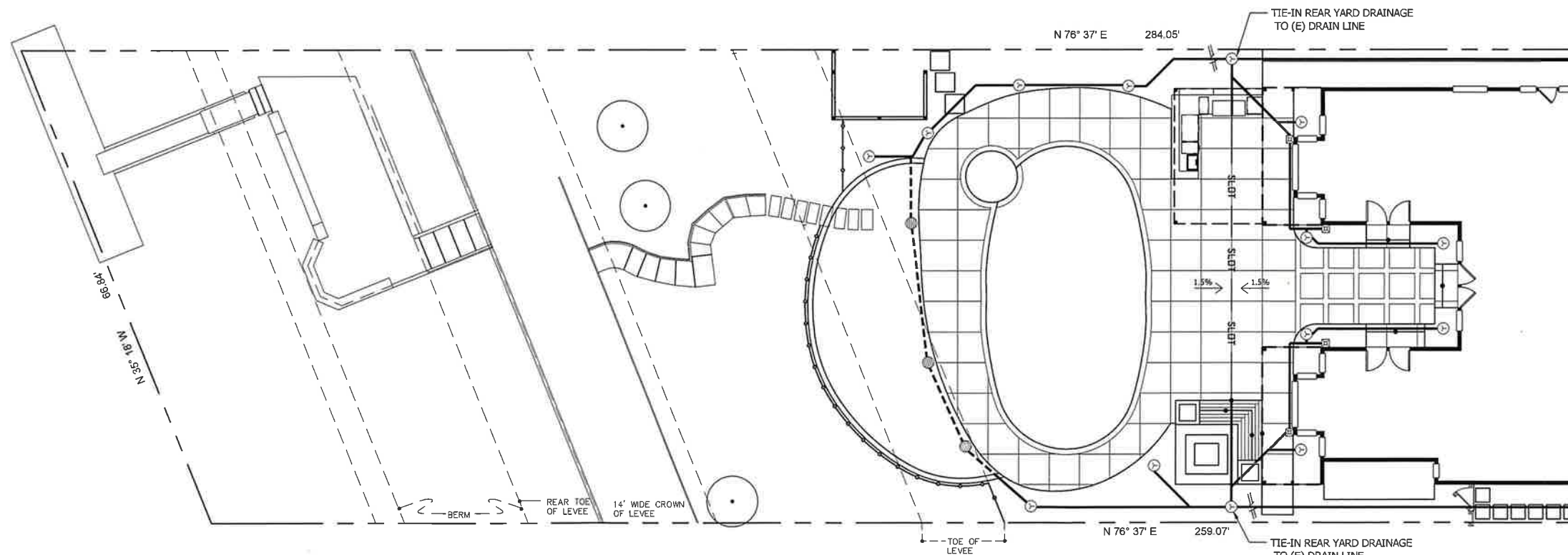
3 SLOT DRAIN
NO SCALE



ADDITIONAL COVER MAY BE REQUIRED BASED ON SITE CONDITIONS. 12\"/>

- NOTES:**
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWING.
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

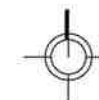
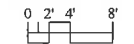
4 NDS EZ-FLOW DRAIN 3\"/>



GRADING & DRAINAGE PLAN

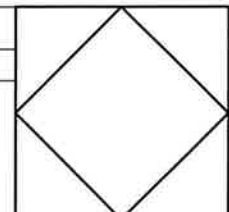
SCALE: 1/8" = 1' - 0"

GRAPHIC SCALE



LEGEND

SYMBOL	DESCRIPTION	DETAIL
⊕	EXISTING DRAIN INLET	
⊞	DOWNSPOUT	
⊙	6" ROUND BLACK GRATE, W/ CATCH BASIN, IN TURF	L-3/2
⊙	6" ROUND BLACK ATRIUM GRATE, W/ CATCH BASIN, IN PLANTING AREA	L-3/1
—	3" RIGID PVC DRAIN PIPE	
—	SLOT DRAIN	L-3/3
—	7" NDS EZ-FLOW DRAIN W/ 3" PIPE	L-3/4
1.5%	SURFACE FLOW, SLOPE AND DIRECTION	
—	4" PVC SLEEVING	



THE OFFICE OF
JEFFREY F. GAMBONI
LANDSCAPE ARCHITECT #2702
3012 PACIFIC AVENUE
STOCKTON 95204
209 948 8335

BALDUZZI RESIDENCE
6333 Embarcadero Drive
Stockton, CA

GRADING & DRAINAGE NOTES

1. Grade to drain away from structure.
2. The contractor shall install an underground drain system composed of solid rigid PVC drain pipe with all sections glued. The perforated pipe shall be used in the raised planters. It shall be covered with filter fabric and set in drain rock. See plan for locations. All pipes to be installed at a slope no less than 1/8" per linear foot. Contractor also shall place catch basins where indicated.
3. Place drain rock 2"-4" in diameter around catch basins in planting areas (not lawn) to keep out mulch.
4. Intercept down spouts with PVC down spout adapters.
5. Protect structures, utilities, sidewalks, foundations, pavement and other facilities from damage caused by excavation, settlement, lateral movement, washout, and other hazards created by grading operations.
6. Dispose of excavated materials away from site at disposal areas arranged and paid for by the Landscape Contractor.
7. Compact the top 8" of subgrade and each layer of fill material or backfill material at 95% of maximum density under areas to be paved.
8. Rip, rototill and amend subgrade prior to introducing fill soil in planting areas.
9. Compact filled planting areas at 85% of maximum density.
10. Drain lines: to slope a minimum of 1/8" per foot.
11. Paved areas to slope a minimum of 1/8" per foot. Slope to patios not to exceed 2%. slope at walkways and driveways not to exceed 5%, cross slopes not to exceed 2%.
12. Landings at doors must be at least 36" deep.
13. Riser and tread relationship: the rise of every step shall not be less than 4" or greater than 7". The tread shall not be less than 11". The largest tread run within any flight of stairs shall not exceed the smallest by more than 3/8". The greatest riser height within any flight of stairs shall not exceed the smallest by more than 3/8".
14. Do not scale drawings. Call Landscape Architect for clarification.
15. All construction shall comply with Title 24, current CBC, CPC, CMC, CEC, & any other applicable local codes.
16. Call Underground Service Alert at (800) 227-2600 48 hours before excavation commences to verify utility locations.

These drawings are not final and shall not be used for construction purposes until signed by Jeffrey F. Gamboni, Landscape Architect #2702. These plans and all contained drawings are an original, unpublished work and may not be duplicated, published or used in whole or part without your written consent by Jeffrey F. Gamboni.

GRADING & DRAINAGE PLAN

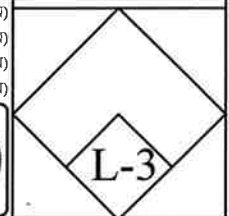
DATE REVISION SET

This project shall comply with
2019 CRC, CPC, CMC, & CEC.

DATE 22 AUGUST 2023
DRAWN BY: TA
CHECKED BY: JEFFREY F. GAMBONI
FILE: BAL-23-33 DWG

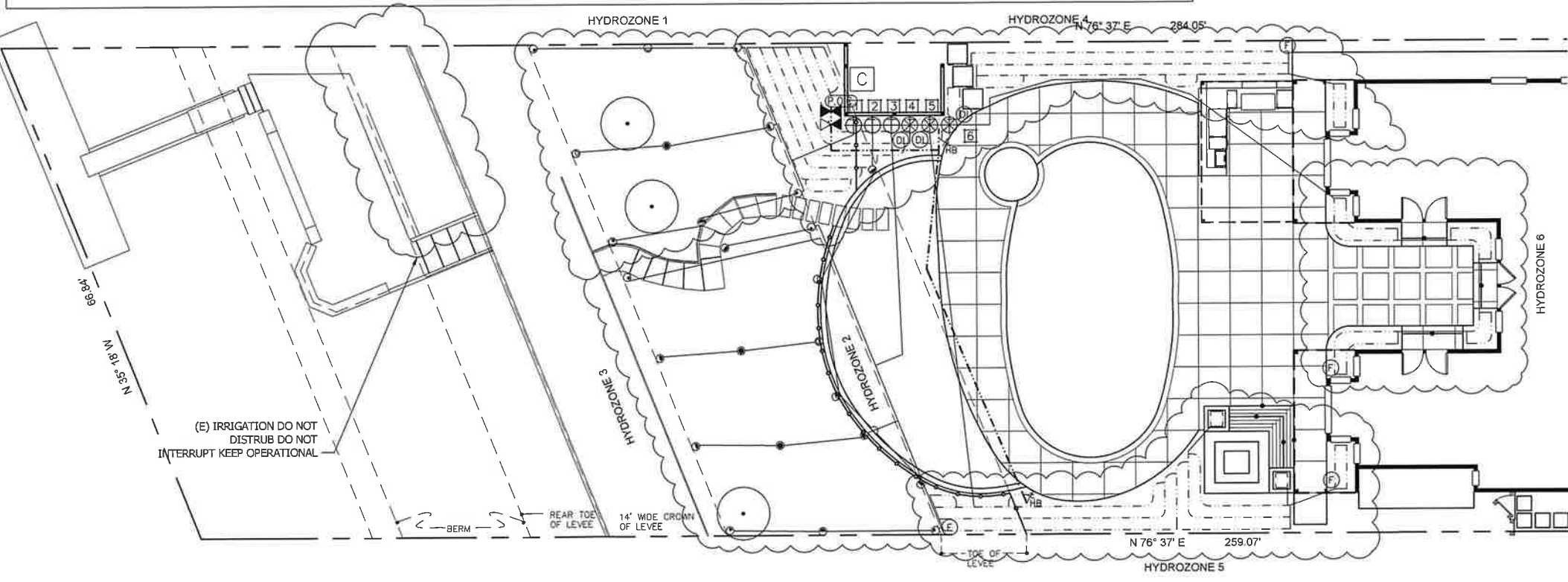
DRAWING STATUS

- INFORMATION DWGS. (NOT FOR CONSTRUCTION)
- PRELIMINARY DWGS. (NOT FOR CONSTRUCTION)
- DESIGN DEVELOP. DWGS. (NOT FOR CONSTRUCTION)
- CHECK SET (NOT FOR CONSTRUCTION)
- PLAN CHECK DWGS.
- BID SET DWGS.
- CONSTRUCTION DOCUMENTS
- OTHER _____

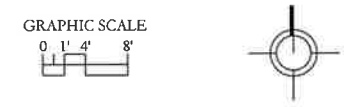


IRRIGATION NOTES

- THE IRRIGATION SYSTEM IS DESIGNED FOR 22 GPM WITH A MINIMUM PRESSURE OF 30 PSI AT THE POINT OF CONNECTION.**
The Irrigation Contractor shall verify water pressure prior to construction. Report any difference between the water pressure indicated on the drawings and the actual pressure reading at the irrigation point of connection to the Owner's authorized representative.
- This design is diagrammatic. All piping, valves, etc. shown within paved areas is for design clarification only and shall be installed in planting areas where possible. Avoid any conflicts between the irrigation system, planting and architectural features.
- Do not willfully install the irrigation system as shown on the drawings when it is obvious in the field that obstructions, grade differences or differences in the area dimensions exist that might not have been considered in the engineering. Such obstructions or differences should be brought to the attention of the Landscape Architect. The Contractor shall assume full responsibility for any revisions necessary.
- It is the responsibility of the Irrigation Contractor to familiarize himself with all grade differences, location of walls, retaining walls, etc. He shall coordinate his work with the General Contractor and other Subcontractors for the location and the installation of pipe sleeves through walls, under roadways, paving, structures, etc.
- Due to the scale of the drawings, it is not possible to indicate all offsets, fittings, sleeves, etc., which may be required. The Contractor shall carefully investigate the structural and finished conditions affecting all of his work and plan his work accordingly, furnishing such fittings, etc., as may be required to meet such conditions. Drawings are generally diagrammatic and indicative of the work to be installed. The work shall be installed in such a manner as to avoid conflicts between irrigation systems, planting, and architectural features.
- Each controller shall have its own independent ground wire.
- Valve locations shown are diagrammatic. Install in planting areas where possible.
- All valve control wires shall be a minimum No. 14 AWG copper UL approved for direct burial in ground. Size wiring per controller and valve manufacturer's recommendations. Connect wires as detailed per manufacturer's specifications.
- Splicing of 24 volt wires will not be permitted except in valve boxes. Leave a 24" coil of excess wire at each splice and 100 feet of center along wire run. Tape wire in bundles 10 feet on center. No taping permitted inside sleeves.
- Install a spare control wire of a different color along the entire main line. Loop 36" excess wire into each single valve box and into one valve box in each group of valves.
- When **SPRAY SPRINKLERS** are used in the project:
A. The Contractor shall flush and adjust all sprinkler heads for optimum performance and to prevent over spray onto walks, roadways and /or buildings as much as possible. This shall include selecting the best degree of arc to fit the existing site conditions and to throttle the flow control at each valve to obtain the optimum operating pressure and to prevent misting for each system.
B. The Contractor shall ensure sprinkler heads are set perpendicular to finish grade of the area to be irrigated unless otherwise designated on the plans.
C. The Contractor shall install a Rain Bird SAM pop-up body (integral check valve) or a King Bros. CV series check valve on shrub risers in lieu of Schedule 80 coupling at locations where low head drainage will cause erosion and excess water use.
D. The Contractor shall make field adjustments to the system at locations of vertical obstructions (street lights, trees, fire hydrants, etc.) that interfere with the spray pattern of sprinkler heads so as to prevent proper coverage. Adjustments shall be made by installing a quarter, third or half circle head at the sides of the obstruction so as to provide proper coverage. The contractor shall not use variable arc nozzles. All adjustments shall be made at no additional cost to the owner.
E. In planting areas 4'-0" wide and narrower, and in all lawn areas, 6" pop-up bodies shall be used. In all other spray zones use 12" pop-up bodies. Bubblers are to be installed on Sch. 80 risers.
- When **DRIPLINE** is used in the project:
A. The Contractor shall install as indicated on the drawings.
B. Use only Teflon tape on all threaded locations.
C. Dripline can be installed with the emitters facing up, down or sideways.
D. Cap or plug all openings as lines have been installed to prevent intrusion of materials that would obstruct the pipe and leave in place until removal is necessary for completion of installation.
E. Thoroughly flush all water lines before installing Air Relief Valves.
- Notify Architect of any aspects of layout which will provide incomplete or insufficient water coverage of plant material and do not proceed until his instructions are obtained.
- In addition to the sleeves and conduits shown on the drawings, the Irrigation Contractor shall be responsible for the installation of sleeves and conduits of sufficient size under all paved areas.
- All lateral piping shall be Schedule 40 PVC pipe.
- Where it is necessary to excavate adjacent to existing trees, the Contractor shall use all possible care to avoid injury to trees, and tree roots. Excavation in areas where two (2) inch and larger roots occur shall be done by hand. Roots two (2) inches and larger in diameter shall be wrapped in a plastic bag and secured with a rubber band. Trenches adjacent to tree should be closed within twenty-four (24) hours; where this is not possible, the side of the trench adjacent to the tree shall be kept shaded with burlap or canvas.
- Install valve boxes 12" from and perpendicular to walk, curb, lawn, building or landscape feature. At multiple valve box groups, each box shall be an equal distance from the walk, curb, lawn, etc. and each box shall be 12" apart. Short side of valve box shall be parallel to walk, curb, lawn, etc.
- All wire connections to be made in valve box with water tight connectors per manufacturers directions. Wire splices shall not be permitted unless approved by the Owners Representative or the Landscape Architect. Wire splice locations must be indicated on "As-Built" per the Specifications.
- Irrigation Contractor to notify all local jurisdictions for inspection and testing of installed back flow prevention device.
- Prior to trenching, call Underground Service Alert, (1-800) 227-2600.
- Remote Control Legend: attach a laminated, typewritten legend inside each controller door stating the areas covered by each remote control valve. Valves, or adjacent piping in the valve box are to be labeled with an indelible marker with the appropriate number corresponding to the controller legend for easy identification.



IRRIGATION PLAN
SCALE: 1/8" = 1' - 0"



IRRIGATION LEGEND

SYMBOL	PATTERN	MFR	MODEL#	NOZZLE	PSI	GPM/GPH	DETAIL
⊙	Quarter	Rain Bird	RD1800	U-12Q	30	0.65	DTL-3/11
◐	Half	Rain Bird	RD1800	U-12H	30	1.30	DTL-3/11
◑	Full	Rain Bird	RD1800	U-12F	30	2.60	DTL-3/11
⦿	Full	Rain Bird	RD1800	U-15F	30	3.70	DTL-3/11

SYMBOL	MFR	DESCRIPTION	MODEL NO.	DETAIL
⊕	Existing	Remote Control Valve	Existing	
⊗	Rain Bird	Remote Control Valve	PEB	DTL-4/4
⊗	Rain Bird	Drip Control Zone Kit Flow = 0.20 - 5.00 GPM Flow = 3.00 - 15.00 GPM	XCZ-075-PRF XCZ-100-PRF	DTL-3/9
—	Rain Bird	XFS-CV Dripline	XFS-CV-06-12	DTL-3/1,2
⊙	Rainbird	Sub-Surface Drip Operation Indicator - 1 Per Drip Zone	OPERIND	DTL-3/3
⊙	Nibco	Full Port PVC Ball valve in valve box for manual flushing	Line size	DTL-3/7
Not Shown	Nibco	Ball valve - one at each valve manifold	Line size	DTL-4/2
⊗	Febco BPD1 BPD1	3/4" Pressure Vacuum Breaker GuardShack Enclosure FrostGuard Insulated Blanket	765 GS FG	DTL-4/1
⊗	Nibco	Gate Valve	Line size	DTL-4/3
⊕	Rain Bird	Irrigation Controller Confirm location	TM2-8-120V	DTL-4/5
†	Champion	Hose Bib	3/4"	DTL-3/8
⊕		Point of Connection Verify Size & Location in Field Sleeving under pavement Double Line Size		
⊕		Valve Callout & Tag		

IRRIGATION LINE SIZING

SYMBOL	DESCRIPTION	MODEL NO.	G.P.M.
—	Main Line	SCH 40 PVC 1-1/2" size unless otherwise noted	
—	Lateral Line	3/4" SCH 40 PVC Pipe	0 - 8 GPM
—	Lateral Line	1" SCH 40 PVC Pipe	8 - 12
—	Lateral Line	1-1/4" SCH 40 PVC Pipe	12 - 22

VALVE CALLOUTS

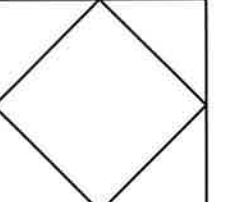
VALVE #	TYPE	SIZE	GPM	SF	LINE SPACING	EMITTER /FLOW	# HEADS	MODEL	BODY
1	SPRAY	1"	11.5	618.93	-	-	9	RD1800	U-12,15
2	SPRAY	1"	16.15	861.99	-	-	4	RD1800	U-12,15
3	SPRAY	1"	6.3	400	-	-	12	RD1800	U-12,15
4	DRIP	1"	3.73	558.89	18"	06/12	-	XFS-CV	-
5	DRIP	1"	2.01	301.24	18"	06/12	-	XFS-CV	-
6	DRIP	1"	0.83	124.1	18"	06/12	-	XFS-CV	-

- ### NOTES
- All remote control valves to be placed in individual valve boxes in planting areas, not in lawn areas.
 - All lawn sprinklers to be 6" pop up sprays.
 - Plan is diagrammatic for purposes of graphic clarity.
 - Design of system based on max demand of 22 gpm with XX psi at point of connection. Contractor to verify prior to construction and notify Landscape Architect if there is a discrepancy.
 - In planting areas where pop-up sprays are specified, if the area is less than 4' wide use 6" pop ups. If it is wider than 4' use 12" pop ups.
 - See Irrigation Details Sheet DTL-3 and DTL-4. See Irrigation Notes Sheet L-4.
 - Hydrozone 2 oversprays (N) artificial turf.

This project shall comply with
2019 CRC, CPC, CMC, & CEC.

DRAWING STATUS

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<input type="checkbox"/>	CONSTRUCTION DOCUMENTS	
<input type="checkbox"/>	OTHER	



THE OFFICE OF
JEFFREY F. GAMBONI
LANDSCAPE ARCHITECT #2702
3012 PACIFIC AVENUE
STOCKTON 95204
209 948 8335

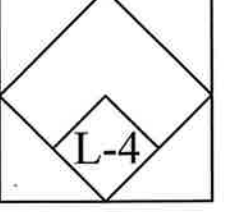
BALDUZZI RESIDENCE
6333 Embarcadero Drive
Stockton, CA

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IRRIGATION PLAN

DATE	REVISION SET

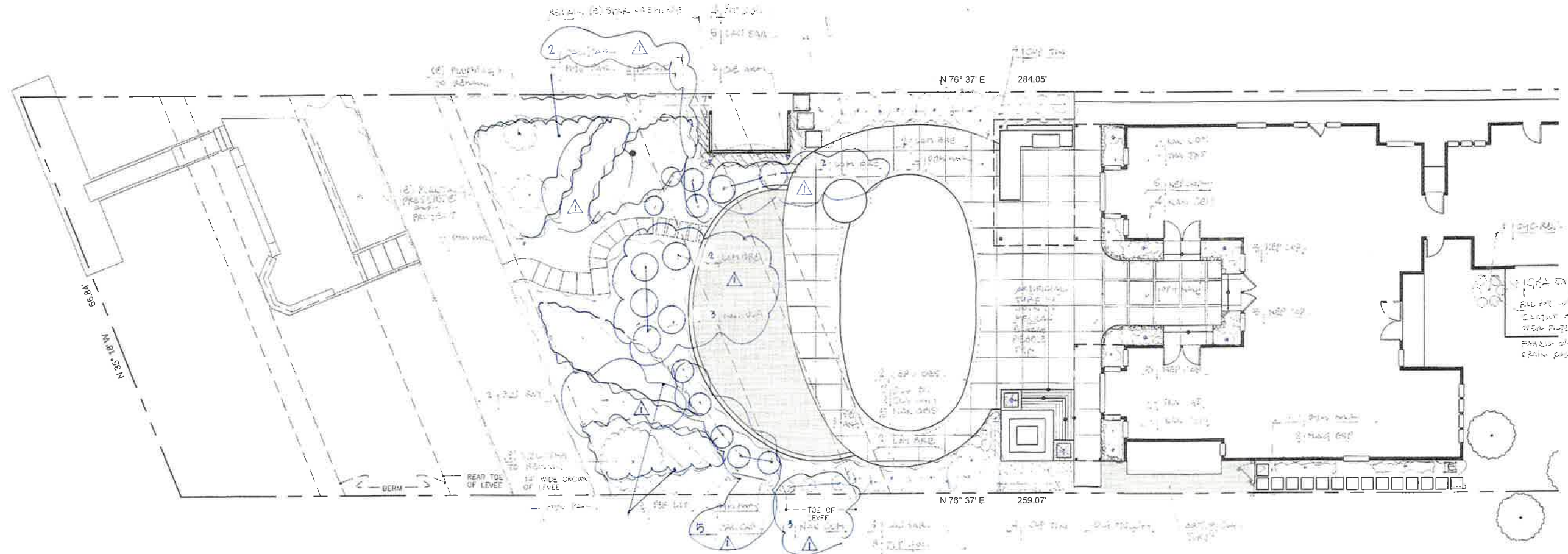
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DRAWN BY: XX
CHECKED BY: JEFFREY F. GAMBONI
FILE: BAL-23-33 DWG



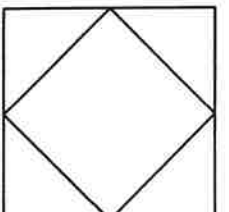
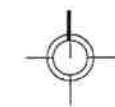
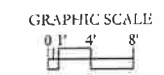
PLANTING NOTES

- If a discrepancy between these plans and actual on-site conditions occurs, the Landscape Contractor is to notify the Landscape Architect immediately, before proceeding with his work, for a decision.
- All plants will be inspected for acceptable form and condition by Landscape Architect. Unacceptable plants will be replaced by the Landscape Contractor at no additional cost to the owner. All plants shall be tagged with the name of the plant in accordance with the standards of practice recommended by the American Association of Nurserymen. In all cases, botanical names shall take precedence over common names.
- All plants brought onto the site shall be watered and protected from excessive wind, sun, frost, physical damage and theft until planted.
- Landscape Architect shall be notified at least two working days prior to estimated time of setting out plants so a mutually acceptable time can be scheduled for final plant placement. All plants shall be placed in approximate locations shown on plans by Landscape Contractor prior to arrival of Landscape Architect. Final adjustments of locations shall be made by Landscape Architect.
- The Landscape Architect reserves the right to make deletions, additions or substitutions in the field as necessary with adjustments in the contract as appropriate.
- Prior to commencement of planting procedures, soil must be inspected for the following:
 - Rough Grading: such that all stones over 1" diameter and pockets of road base, asphalt, gravel and concrete have been removed and planting areas slope toward drains and away from structures.
 - Amendment: amendments have been incorporated into the soil per the soils test.
 - Weeds: all weeds have been removed from all planting areas and pernicious weeds have been treated with appropriate herbicides or approved equal.
- All asphalt, base course and other debris are to be removed completely below planting areas. Contractor is responsible for supplying top soil as necessary for all planting areas.
- In planting areas, the Contractor shall be responsible for 5% surface drainage away from structures for a minimum distance of five feet (5') and 2% minimum positive surface drainage in all other planting areas except where shown.
- Contractor shall furnish and apply the appropriate pre-emergent herbicide at rates prescribed by law and manufacturer's recommendations. "Best Dimension 2700" or "Ronstar GT" are recommended for ground cover and shrub areas. All pre-emergent herbicides shall be applied by licensed operators under favorable weather conditions. All pre-emergent herbicides shall be approved by the Landscape Architect prior to application.
- Backfill for shrubs and trees to be:
 - 1 CY topsoil
 - 2 CY native topsoil
 - 1 CY nitrified redwood compost
 For acid loving plants see note below.
- For all azaleas, rhododendrons, ternstroemia, gardenia, fuschia, or other acid loving plants backfill soil with 50% peatmoss, making a raised planting bed 6" above surrounding soil level. Fertilize at a rate of 3 lbs. Nitrogen per 1000 SF of planter area. Plant all azaleas and rhododendrons with top of root ball slightly above soil level.
- All other proposed areas shall be rototilled (or hand cultivated under existing trees) to a depth of 6". Take care not to damage roots. Compost at a minimum rate of 4 CY per 1,000 sf of planting area shall be incorporated to a depth of six inches into the soil. The Landscape Contractor to be responsible for obtaining a soils test and providing the appropriate amendments based on the test results for the existing site soil and for imported topsoil. Provide test results with submittals. For purposes of bidding, the following amendments will be used (per 1000 sq. ft.):
 - 4 yds. Nitrified or redwood or fir bark compost
 - 300 lbs Gro-Power Plus
 - 40 lbs gypsum
 All amendments shall be free from debris such as pieces of glass, metal and plastic. Rototill amendments to a depth of 6" in two directions. Finish grade of turf areas to be one (1) inch below edge of paving. Finish grade of planting areas to be (2) two inches below edge of paving. Water soil thoroughly before planting.
- All pots shall be planted with soil-less mixes that drain well, such as Miracle-Gro Moisture Control Potting Mix. The mix shall contain no bark, bark products, peat or peat products. Drain holes shall be covered with screen, landscape cloth or similar material to prevent the mix from washing out.
- All plants shall be set at such a level that after settling they bear the same relationship to the surrounding finish grade as they bore to the soil line grade in the container, unless otherwise noted.
- It shall be the Landscape Contractor's responsibility to provide adequate drainage of all plantings, sufficient to insure healthy growth.
- All shrubs and trees to have Agri-form or equal 21 gram plant-tabs (20-10-5). Agriform plant tablets to be placed immediately adjacent to root ball at a depth which is between the middle and the bottom of the root ball when backfill is no higher than halfway up the root ball. Rate of application shall be:
 - 1 gallon container: 1 tablet
 - 5 gallon container: 3 tablets
 - 15 gallon container: 7 tablets
 - 24 inch box: 15 tablets
 - For larger sizes: For each 12 - 18 inches of plant height or spread, or for each 1/2 inch of tree trunk diameter use:
 - 1 tablet for slow growing plants
 - 2 tablets for fast growing plants
- Cover all planting areas excluding lawn with a 3" depth of approved mulch after final shaping of saucers and dress off neatly. Hold mulch 1" away from base of plant.
- Deciduous and broad-leaved evergreen trees are to be staked per detail. All conifers, boxed specimens and multi-trunk trees are to be guyed per detail only where required to maintain vertical growth and withstand wind.
- The Landscape Contractor shall maintain the entire landscaped area of this contract for a minimum of sixty (60) days commencing after acceptance by the Landscape Architect.
- After planting has been approved by Landscape Architect, all plant tags are to be removed.
- All plants 15 gallon size and over shall be guaranteed for a period of one year and all other plants shall be guaranteed for a period of 6 months after the end of the maintenance period provided that normal care has been provided.
- Contractor to install linear root barrier at all locations where trees are less than twelve (12) feet from curb, walkway, wall or building areas prior to plant installation.
- An automatic irrigation system is to be provided to water all planting areas. Landscape Contractor is to provide adequate coverage for all indicated planting areas prior to plant installation.
- Call Underground Service Alert at (800) 227-2600 prior to excavation.

PLANT LIST		Balduzzi Residence		
CODE	BOTANICAL NAME	COMMON NAME	SIZE	QNTY
TREES				
CUP TIN	Cupressus s 'Tiny Towers'	Tiny Tower Cypress	24"	8
LAU SAR	Launus 'Saratoga'	Saratoga Laurel	24"	9
MAG ESP	Magnolia 'Little Gem' Espalier	Little Gem Espalier	24"	2
SHRUBS and PERENNIALS				
CAL KAR	Calamagrostis 'Karl Foerster'	Feather Reed Grass	1 gal	7
COR DES	Cordylone 'Design-a-Line'	Design a Line Dracaena	5 gal	2
CYC REV	Cycas revoluta	Sago Palm	24"	1
GRA SAI	Graptoveria 'St. Ives'	Saint Ives Graptoveria	4"	6
KNI UVA	Kniphofia uvata	Red Hot Poker	1 gal	3
LOM BRE	Lomandra Breeze	Breeze Lomandra	1 gal	8
NAN COM	Nandina 'Compacta'	Compact Nandina	5 gal	8
NAN OBS	Nandina 'Obsession'	Obsession Nandina	2 gal	5
NEP COR	Nephrolepis cordifolia	Southern Sword Fern	1 gal	20
PER LIT	Perovskia 'Little Spire'	Little Spire Perovskia	1 gal	4
PIT GOL	Pittosporum 'Golf Ball'	Golf Ball Pittosporum	5 gal	2
PLU ROY	Plumbago 'Royal Cape'	Royal Cape Plumbago	5 gal	2
SCA BLU	Scaevola 'Blue Wonder'	Blue Wonder Scaevola	1 gal	2
SCA WHI	Scaevola 'Improved White'	Improved White Scaevola	1 gal	2
SED ANG	Sedum 'Angelina'	Angelina Sedum	4"	3
VINES				
CLE ARM	Clematis armandii	Evergreen Clematis	5 gal	2
GROUND COVER				
DYM MAR	Dymondia margaritae	Dymondia	Flats	12" oc
MYO PAR	Myoporum parvifolium	Myoporum	Flats	12" oc
OPH NAN	Ophiopogon japonicus 'Nana'	Dwarf Mondo Grass	Flats	4" oc
TRA JAS	Trachelospermum jasminoides	Star Jasmine	1 gal	12-18" oc



PLANTING PLAN
SCALE: 1/8" = 1' - 0"



THE OFFICE OF
JEFFREY F. GAMBONI
LANDSCAPE ARCHITECT 3702
3012 PACIFIC AVENUE
STOCKTON 95204
209 948 8335

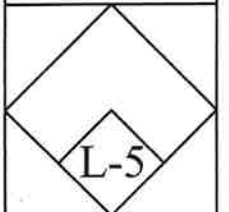
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PLANTING PLAN

DATE	REVISION SET
19 JAN 24	

DATE	22 AUGUST 2023
DRAWN BY:	JFG
CHECKED BY:	JEFFREY F. GAMBONI
FILE:	1841_23_03 DWG



LIGHTING NOTES

1. Size transformer(s) to meet demand, include photocell "on" and timer "off", capability.
2. Install #8-2 conductor SPT cable, with UV stabilized black PVC insulation.
3. Contractor to provide additional lead wire to allow maximum flexibility at each fixture.
4. Electrical source(s) and transformer location(s) to be approved prior to installation.
5. Place low voltage lighting in irrigation mainline trench where possible.
6. Installation of conduit, junction boxes and receptacles must comply with current NEC and UBC.
7. Conduit to be schedule 40 gray.
8. All full voltage lines, j-boxes and receptacles to be installed by a licensed electrician. Wire runs from transformer to fixture shall not exceed 100 feet.
9. Contractor to include in his base bid, the cost of receiving, storing and handling, as well as any applicable mark-ups.
10. Electrical Contractor shall include in his base bid the cost of labor to adjust fixtures at end of project.
11. Electrical Contractor shall provide minimum of 20% extra lamps to be made available during final lighting adjustments. Lamps not used will be returned to owner for storage.
12. Location of all fixtures to be marked on site and approved by Jeffrey Gamboni before final installation.
13. All wiring to be concealed from sight.
14. All wiring to be new and installed according to code.
15. All fixtures to be mounted as inconspicuously as possible so that installation is relatively hidden.
16. Control of light fixtures to be coordinated with owner.
17. All lighting fixture electrical components shall be U.L. listed. All exterior fixtures shall be U.L. listed for damp location or wet location where appropriate.
18. The entire lighting installation shall be in accordance with National Electric Code, the local electric code and all other applicable regulations and jurisdictions.
19. Contractor shall be responsible for location of remote transformers, dimmers, and ballasts in spaces where they will not overheat.
20. Low voltage transformers systems shall be provided with primary and secondary fusing in accordance with the specified fixtures manufacturer's published literature.
21. All exterior lighting circuits shall be GFI protected.
22. All wiring, ballasts, transformers and j-boxes, etc. are to be concealed by ground cover and/or shrubs. No stub-ups in grass or above ground junction boxes will be accepted. Wiring within trees to be kept to the minimum size permitted by code.
23. Locations of fixtures and junction boxes are approximate. The actual position may differ in the field due to the location of major trees and the options of the Landscape Architect. Contractor should consider these hub locations as the end of a conduit run. Fixture(s) will be within 20 feet of the hub.
24. At completion of installation and after ground cover is planted, Electrical Contractor shall provide electricians and equipment necessary to adjust fixtures at evening dusk hours with Landscape Architect. Extra lamps shall be provided for use. See No. 11 above.

LEGEND

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NO.	WATTS	LAMP	FINISH	DETAIL
▶-1LED	QZ	FX LUMINAIRE	QZ-ZD-1LED	2.4	1-LED	BZ	DTL-5/2
■-1LED	PO-WW	FX LUMINAIRE	PO-WW-ZD-1LED	2.4	1-LED	BZ	DTL-5/3
●-3LED	PS-HB	FX LUMINAIRE	PS-HB-ZD-3LED W/3LEDFLENS	4.5	1-LED	BZ	DTL-5/4
□-3LED	RW	FX LUMINAIRE	RW-ZD-3LED-18R	4.5	1-LED	BZ	DTL-5/7
✕-6LED	NP	FX LUMINAIRE	NP-ZD-6LED	9.7	6-LED	BZ	DTL-5/6
T	LOW VOLTAGE LIGHTING TRANSFORMER	FX LUMINAIRE	LUXOR W/ WIFI MODULE				DTL-5/1
↓	WP GFI 120v CONFIRM LOCATION						
—	#16-2 WIRE FROM HUB TO FIXTURES						
—	#12-2 WIRE HOME RUN FROM TRANSFORMER						

FX LUMINAIRE GENERAL NOTES

1. All path lights are to be installed at a minimum of 12 inches from any sidewalk or vertical structure.
2. All low-voltage direct burial wire to be installed at >=6" below finish grade per electrical code.
3. In order to minimize future disturbance, all wire runs shall be installed parallel and adjacent to hard surfaces such as sidewalks and driveways.
4. All underground splices shall be UL-486 Rated and installed in underground J-Boxes with water tight connections leaving 12 inches of excess wire slack.
5. All exterior 120 volt electrical outlets shall be GFI protected as per National Electrical Code.
6. All transformers plugged into an outdoor receptacle shall have an "In Use" cover. Contractor shall install Tarmac type covers at all outlets.
7. All plug-in transformers shall have drip loop in the power cord.
8. Contractor to verify a minimum of 10 volts at the last fixture for optimal operation. Contractor to center feed the system when at all possible and verify all wire connections are at the fixtures.
9. All wire connections at fixtures shall be made using water tight connections.

TRANSFORMER NOTES

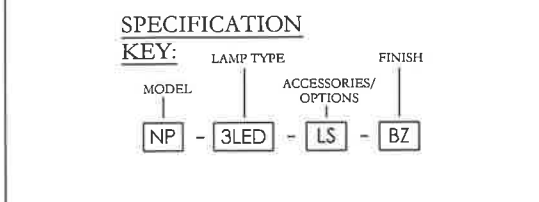
Locate transformer(s) in a well-ventilated area away from direct irrigation spray and central to where the majority of the lighting fixtures will be installed.
Transformer(s) with power cords must be located adjacent to a 120 volt GFCI protected exterior electrical receptacle. If a 120 volt power source is not available at the desired transformer installation location, it is advised that you hire a licensed electrician to run a dedicated 120 volt, 15 amp circuit to the desired location.

SINGLE TRANSFORMER
When using only one transformer, it is very important to center the transformer on the wattage load. If the project calls for 75 watts in both front and back yard, the LX Series Transformer should be centered on the side of the house that will receive the most lighting. A common mistake is to locate the single transformer on the service side of the house or in the garage, which might result in excessively long cable runs to reach lighted areas. The primary goal in laying out low voltage systems is to minimize cable runs because of voltage.

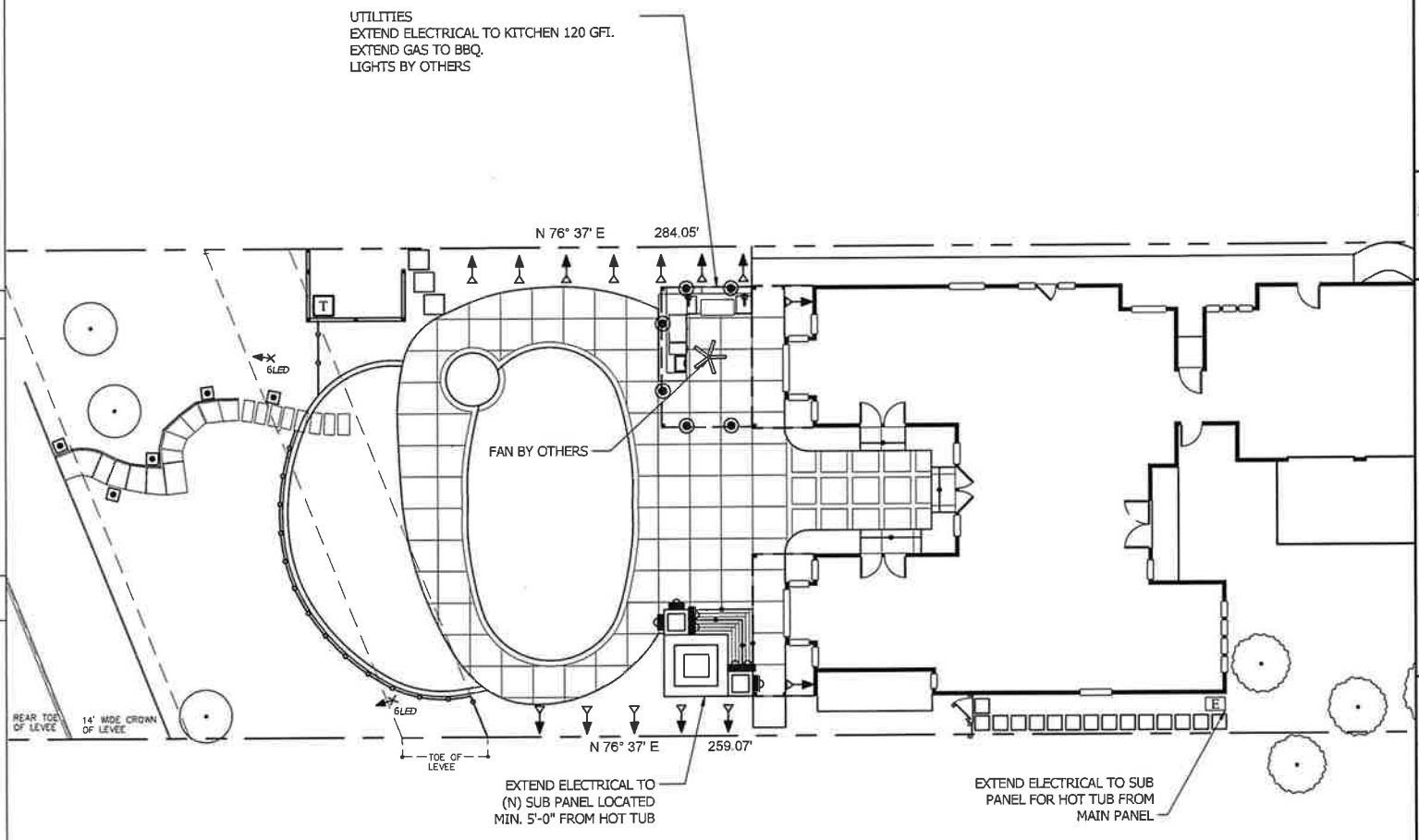
CIRCUITING GUIDELINES

LOADS PER CABLE	WIRE GAUGE	MAX. WATTS
Close zone 0-40'	12 Gauge	160 watts max. 10 Gauge - 180 watts max. 8 Gauge - 220 watts max.
Close zone 40-80'	12 Gauge	120 watts max. 10 Gauge - 140 watts max. 8 Gauge - 200 watts max.
Close zone 80-120'	12 Gauge	100 watts max. 10 Gauge - 120 watts max. 8 Gauge - 180 watts max.
Close zone 120-160'	12 Gauge	60 watts max. 10 Gauge - 100 watts max. 8 Gauge - 160 watts max.

Add cable runs as necessary

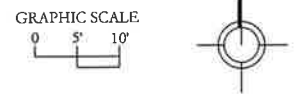


Verify location of electrical connection



LIGHTING PLAN

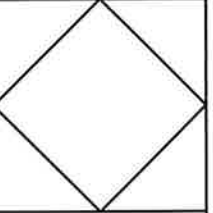
SCALE: 1" = 10' - 0"



This project shall comply with
2019 CRC, CPC, CMC, & CEC.

DRAWING STATUS

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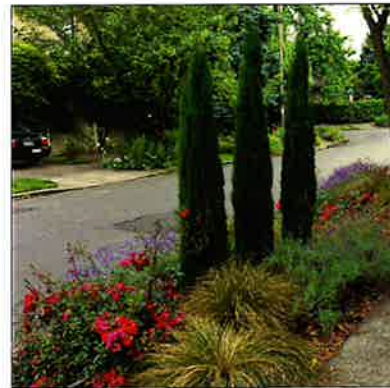
These drawings are not final and shall not be used for construction purposes until signed by Jeffrey F. Gamboni, Landscape Architect #2742. These plans and all contained thereon are an original, unpublished work and may not be duplicated, published or used in whole or part without prior written consent by Jeffrey F. Gamboni.

LIGHTING PLAN

DATE REVISION SET

DATE: 22 AUGUST 2023
DRAWN BY: TA
CHECKED BY: JEFFREY F. GAMBONI
FILE: BAL 23 33 DWG





Cupressus 'Tiny Towers'



Laurus 'Saratoga'



Magnolia 'Little Gem'



Calamagrostis acutiflora 'Karl-Foerster'



Cordyline 'Design-a-line'



Cycas revoluta



Graptopetia 'Fred Ives'



Kniphofia uvaria



Lomandra 'Breeze'



Nandina 'Compacta'



Nandina 'Obsession'



Nephrolepis cordifolia



Perovskia 'Little Spire'



Pittosporum tenuifolium 'Golf Ball'



Plumbago 'Royal Cape'



Scaevola 'Blue Wonder'



Scaevola 'Improved White'



Sedum 'Angelina'



Clematis armandii



Dymondia margaretae



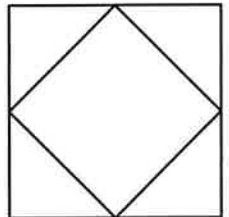
Myoporum parvifolium



Ophiopogon japonicus 'Nana'



Trachelospermum jasminoides



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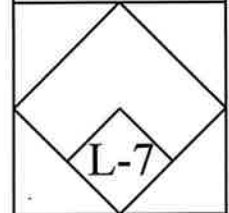
BALDUZZI RESIDENCE
6333 Embarcadero Drive
Stockton, CA

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PLANT PALETTE

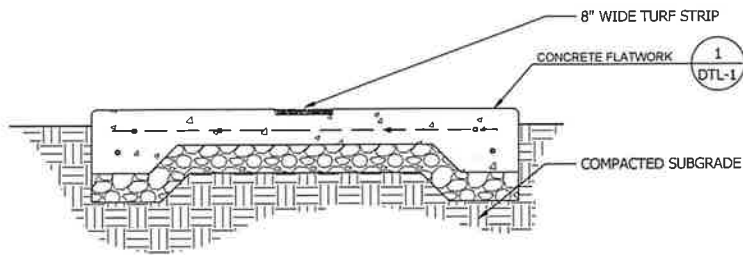
△ DATE REVISION SET

DATE 22 AUGUST 2023
DRAWN BY: TA
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FILE: BAL 23-33 DWG

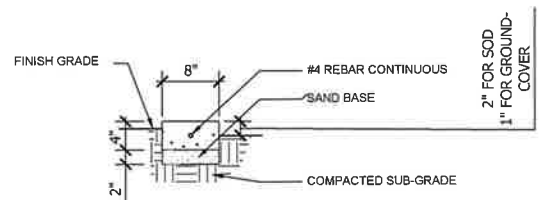


PLANT PALETTE

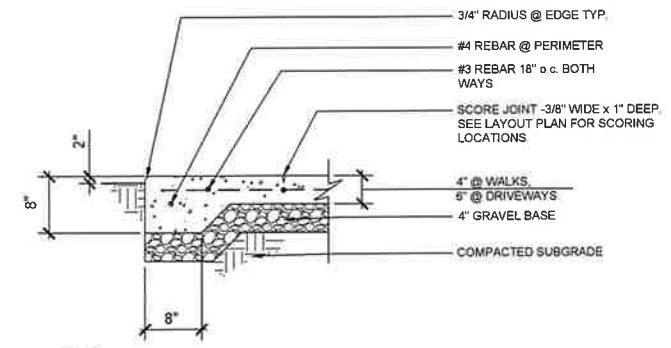
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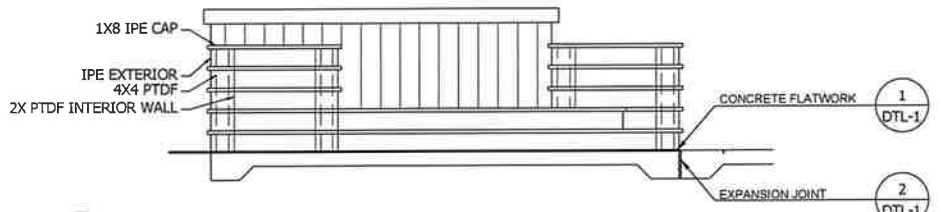
6 CONCRETE WITH 8" ARTIFICIAL TURF
SCALE: 1" = 1'-0"



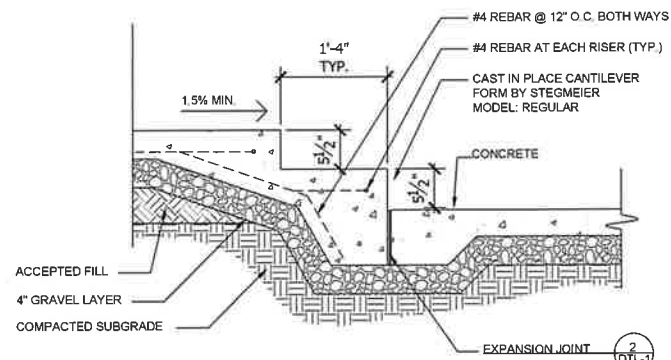
4 8" MOWBAND
NO SCALE



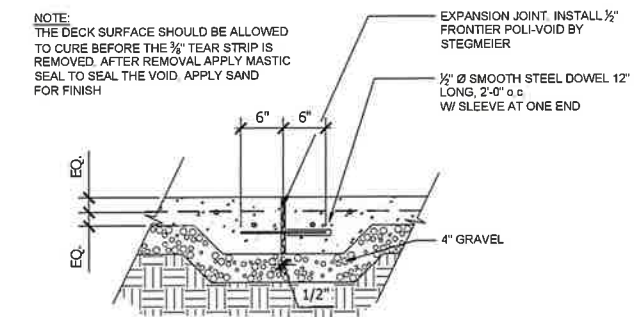
1 CONCRETE FLATWORK
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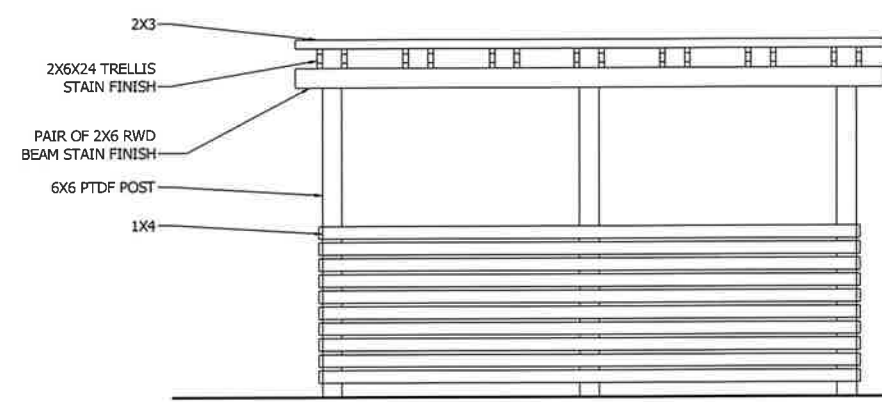
7 HOT TUB STEPS AND PLANTER
SCALE: 1/2" = 1'-0"



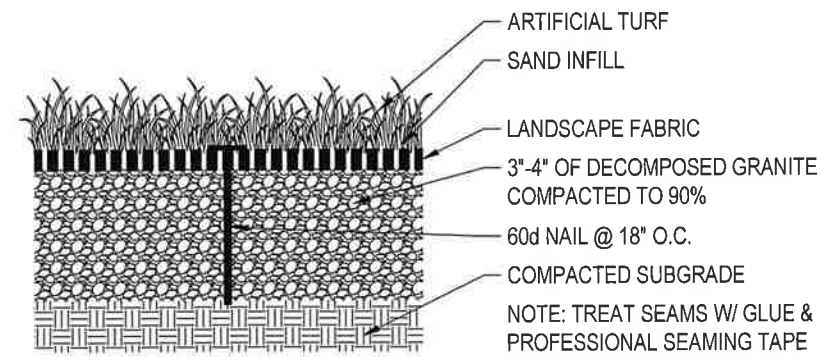
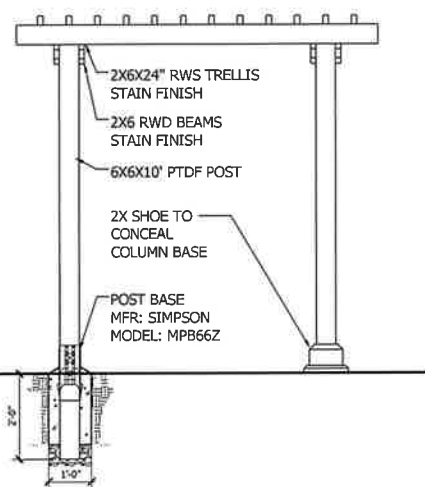
5 CONCRETE STEPS
SCALE: 1" = 1'-0"



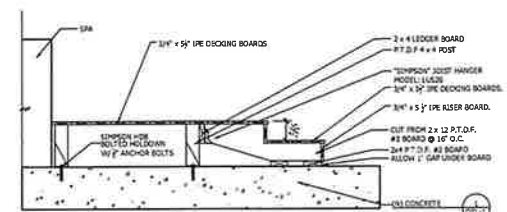
2 EXPANSION JOINT
SCALE: 1" = 1'-0"



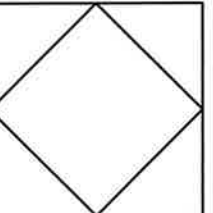
8 EQUIPMENT ENCLOSURE
SCALE: 1/2" = 1'-0"



3 ARTIFICIAL TURF
SCALE: 1" = 1'-0"



9 IPE STEPS
SCALE: 1/2" = 1'-0"



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DETAILS

DATE REVISION SET

DATE 23 AUGUST 2023

DRAWN BY: TA

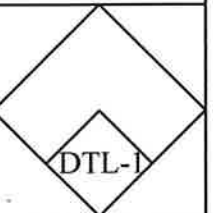
CHECKED BY: JEFFREY F. GAMBONI

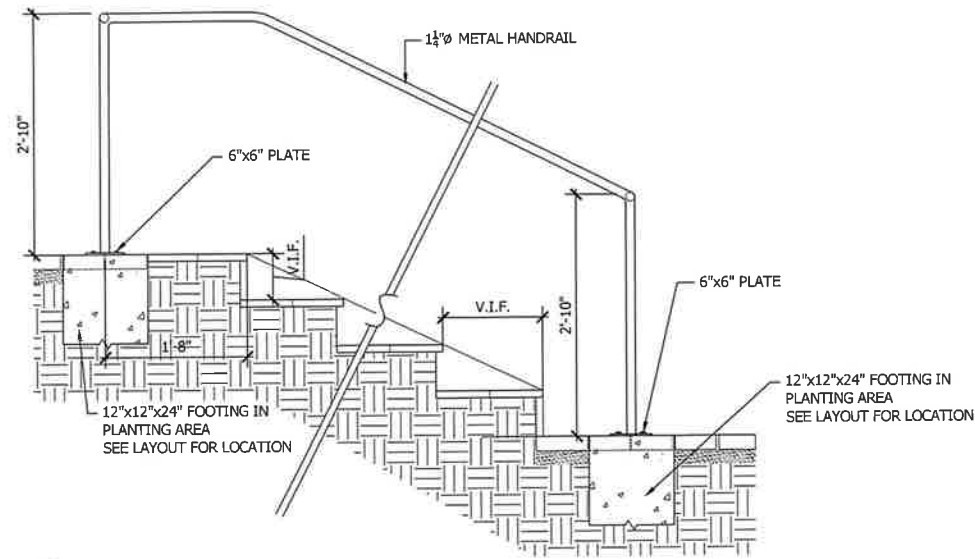
FILE: BAL 23-33 DWG

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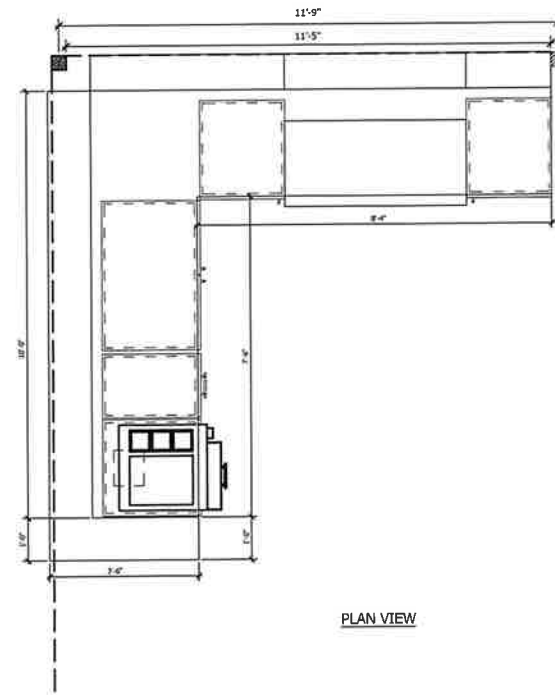
DRAWING STATUS

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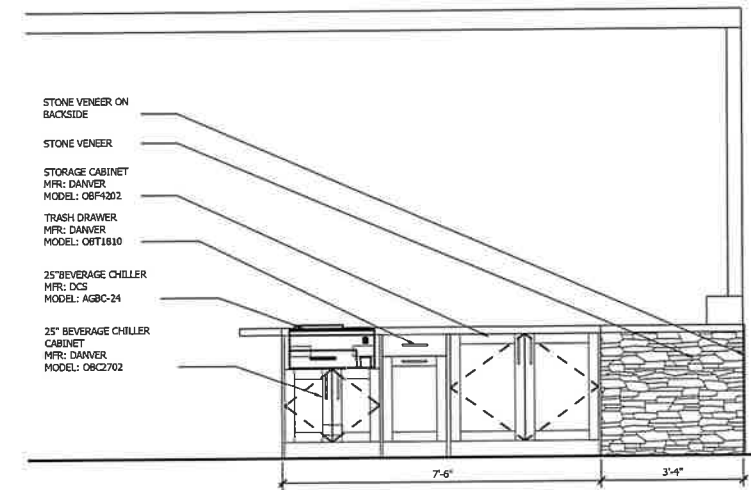




2 HANDRAIL
SCALE: 1" = 1' - 0"



PLAN VIEW



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DETAILS

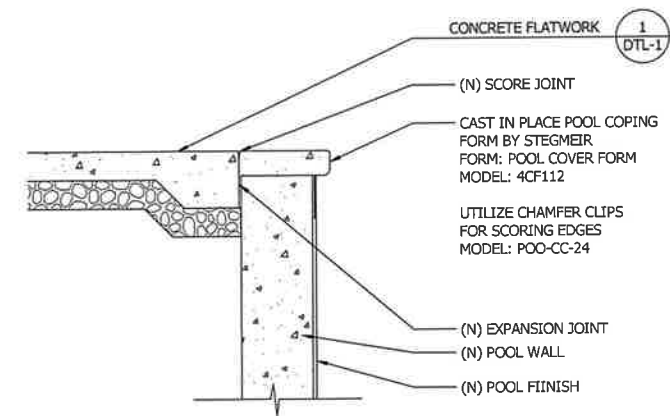
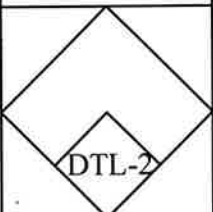
△ DATE REVISION/SET

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FILE: BAL-23-33 DWG

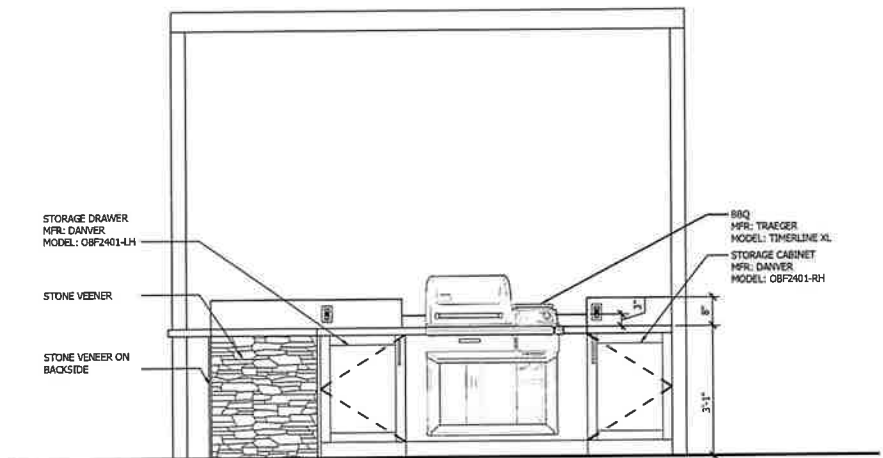
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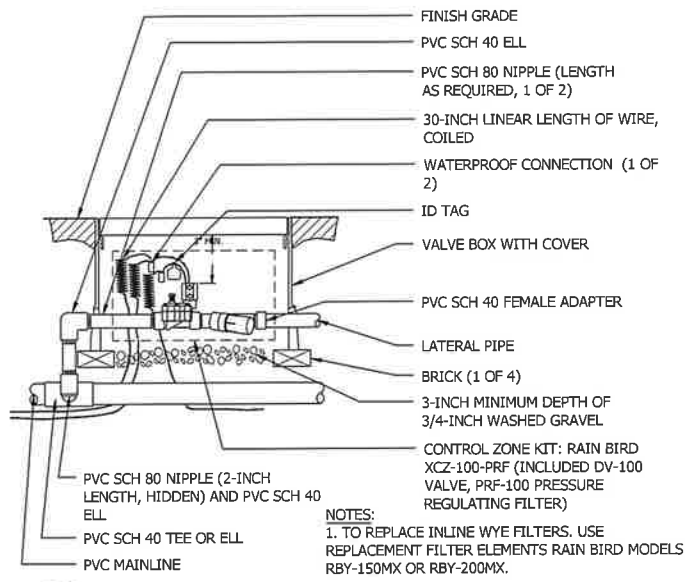
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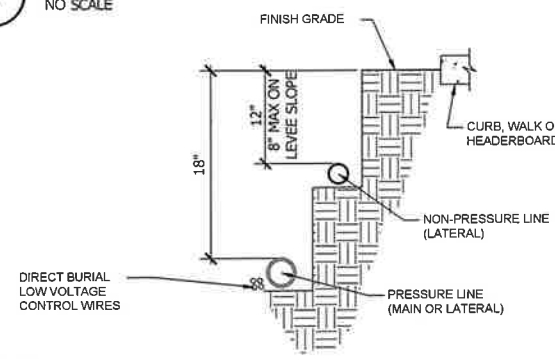
3 CONCRETE POOL COPING
SCALE: 1" = 1' - 0"



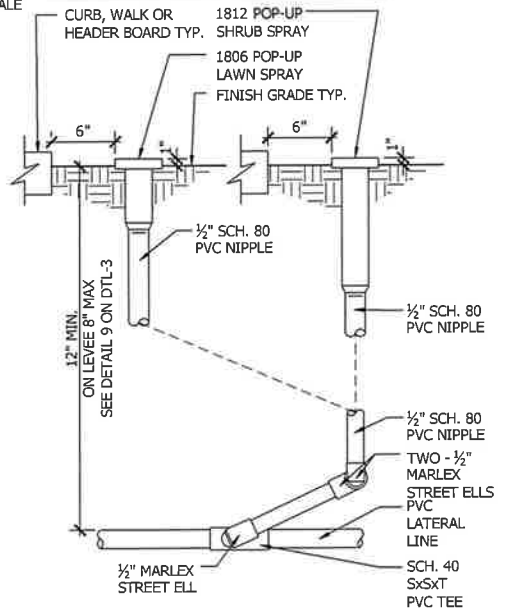
1 OUTDOOR KITCHEN
SCALE: 1/2" = 1' - 0"



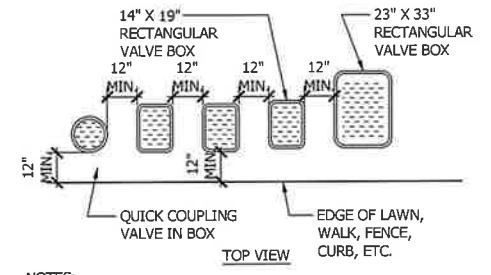
9 RAIN BIRD XCZ-100-PRF REMOTE CONTROL VALVE
NO SCALE



10 IRRIGATION LINE TRENCHING
NO SCALE

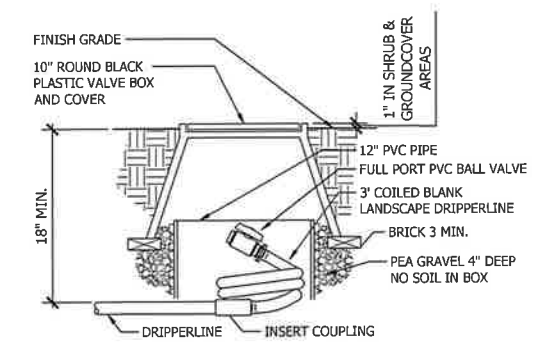


11 TYPICAL SPRINKLER INSTALLATION
NO SCALE

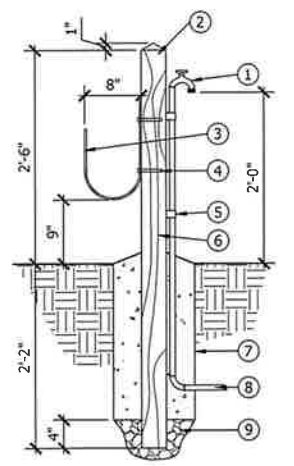


- NOTES:
1. CENTER BOX OVER REMOTE CONTROL VALVE TO FACILITATE SERVICING VALVE.
2. SET BOXES 1" ABOVE FINISH GRADE OR MULCH COVER IN GROUND COVER/SHRUB AREA AND FLUSH WITH FINISH GRADE IN TURF AREA.
3. SET RCV AND VALVE BOX ASSEMBLY IN GROUND COVER/SHRUB AREA WHERE POSSIBLE. INSTALL IN LAWN AREA ONLY IF GROUND COVER DOES NOT EXIST ADJACENT TO LAWN.
4. SET BOXES PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE.
5. AVOID HEAVILY COMPACTING SOIL AROUND VALVE BOX EDGES TO PREVENT COLLAPSE AND DEFORMATION OF VALVE BOX SIDES.
6. VALVE BOXES SHALL HAVE BOLT DOWN LIDS WITH BOLTS INSTALLED.

6 VALVE BOX INSTALLATION
NO SCALE

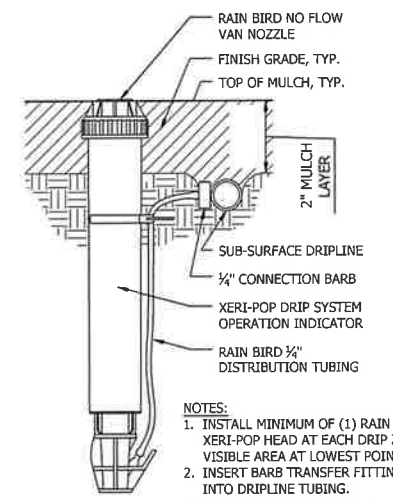


7 BALL VALVE AT FLUSHING LOCATION
NO SCALE



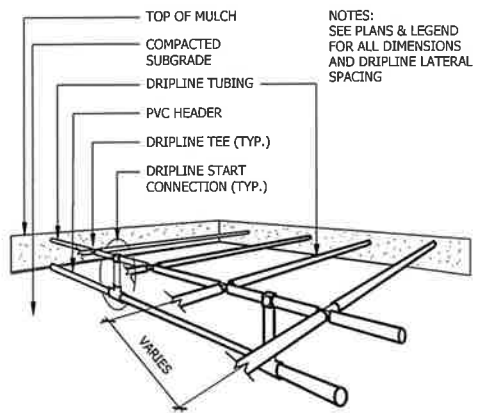
8 HOSE BIB
NOT TO SCALE

- NOTES:
1. ALL HARDWARE TO BE HOT DIPPED GALVANIZED
2. TREAT BELOW GRADE PORTION OF POST WITH COPPER BASED WOOD PRESERVATIVE.
3. FOR LOCATION OF HOSE BIBS SEE PLAN ABOVE.

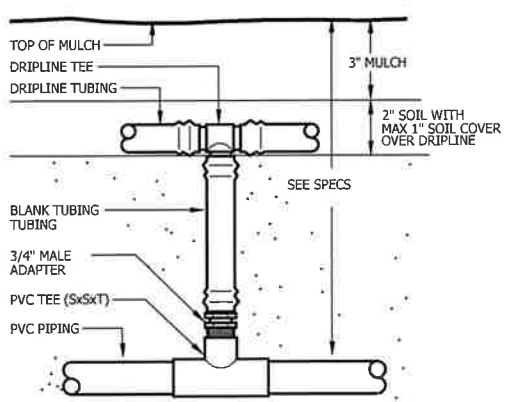


- NOTES:
1. INSTALL MINIMUM OF (1) RAIN BIRD XERI-POP HEAD AT EACH DRIP ZONE IN VISIBLE AREA AT LOWEST POINT OF ZONE.
2. INSERT BARB TRANSFER FITTING DIRECTLY INTO DRIPPERLINE TUBING.
3. VAN NOZZLE MAY BE SET TO CLOSED, OR IF DESIRED TO SEE SPRAY FROM NOZZLE, SET ARC TO 1/4" PATTERN.

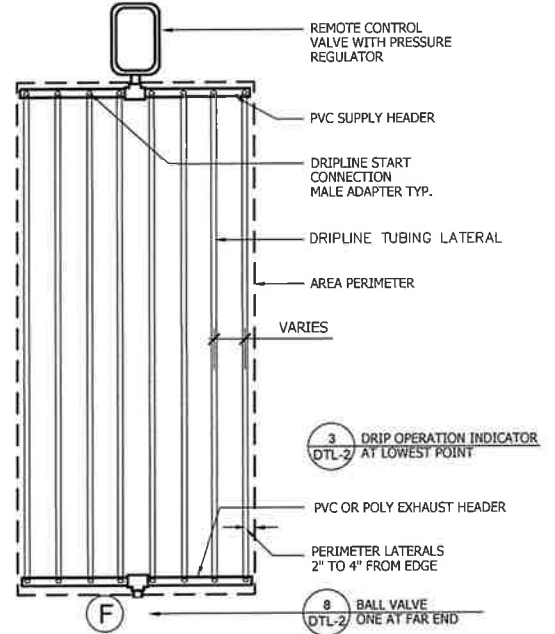
3 RAIN BIRD SUB-SURFACE DRIP OPERATION INDICATOR
NO SCALE



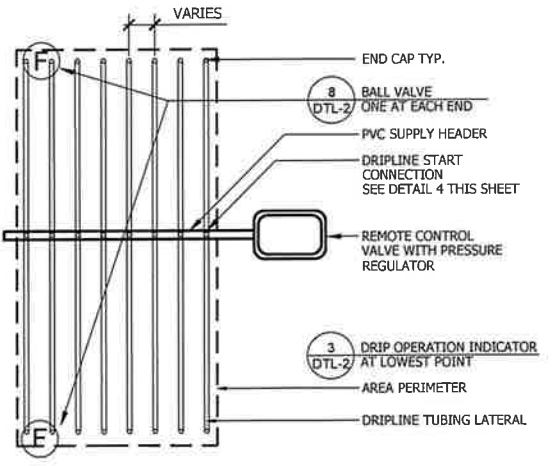
4 DRIPPERLINE SUB HEADER INSTALLATION
NO SCALE



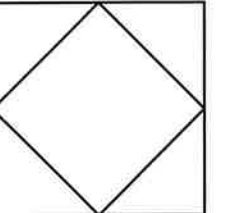
5 DRIPPERLINE START CONNECTION (PVC TO TEE)
NO SCALE



1 DRIPPERLINE END FEED LAYOUT
NO SCALE



2 DRIPPERLINE CENTER FEED LAYOUT
NO SCALE



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IRRIGATION DETAILS

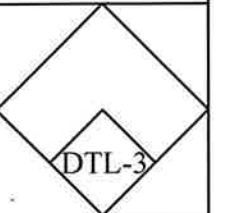
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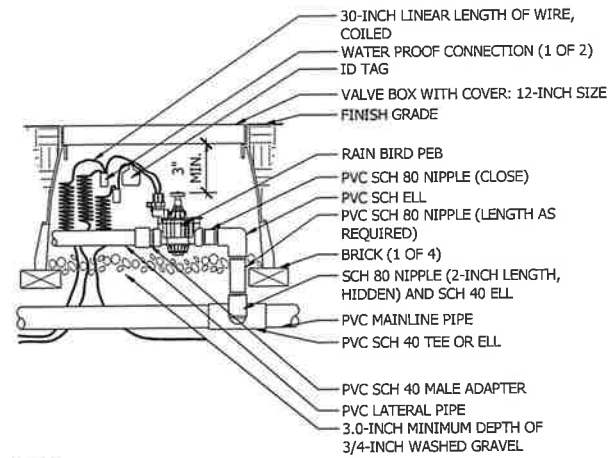
DATE 22 AUGUST 2023
DRAWN BY: TA
CHECKED BY: JEFFREY F. GAMBONI
FILE: BAL 23 33 DWG

This project shall comply with
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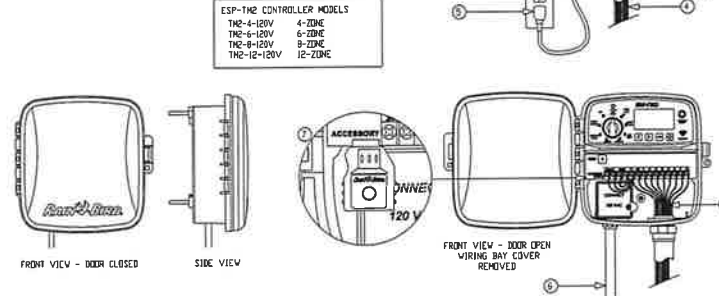




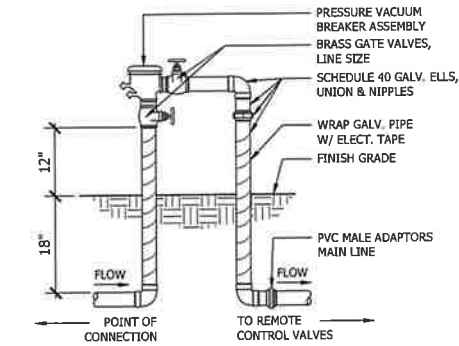
4 RAIN BIRD PEB REMOTE CONTROL VALVE
NO SCALE

GENERAL NOTES

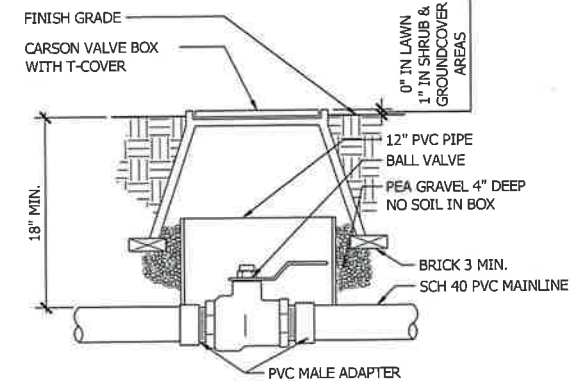
- 1 RAIN BIRD ESP-THE INDOOR/OUTDOOR WALL MOUNTED CONTROLLER.
- 2 WIRING BAY COVER.
- 3 3/4-INCH PVC SCH 40 CONDUIT AND FITTINGS.
- 4 FIELD WIRES TO REMOTE CONTROLLED IRRIGATION VALVES.
- 5 SUPPLIED POWER-CORD PLUGS INTO 120 VAC GROUNDED OUTLET.
- 6 OPTIONAL 1/2-INCH PVC SCH 40 CONDUIT, TO EXTERNAL POWER SUPPLY.
- 7 OPTIONAL LINK W/FT MODULE ALLOWS REMOTE OPERATION OF THE CONTROLLER.



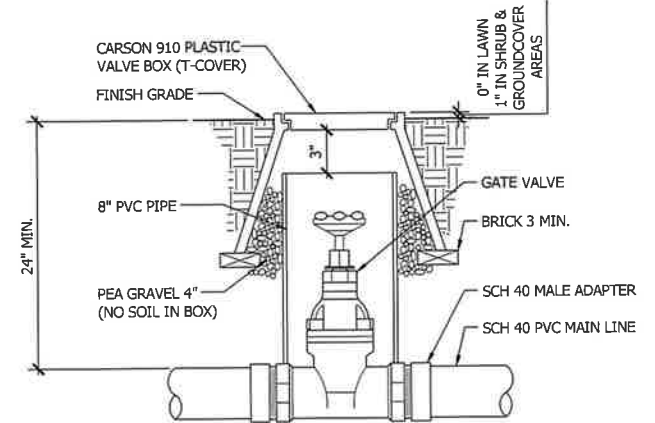
5 RAIN BIRD IRRIGATION CONTROLLER
NO SCALE



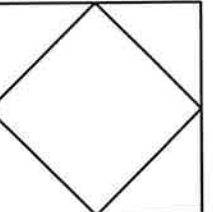
1 PRESSURE VACUUM BREAKER
NO SCALE



2 BALL VALVE
NO SCALE



3 GATE VALVE
NO SCALE



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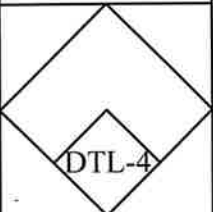
IRRIGATION DETAILS

DATE REVISION/ SET

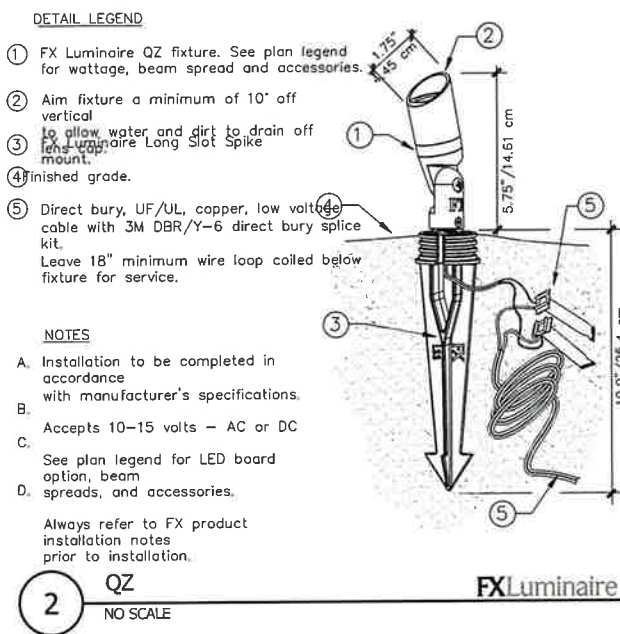
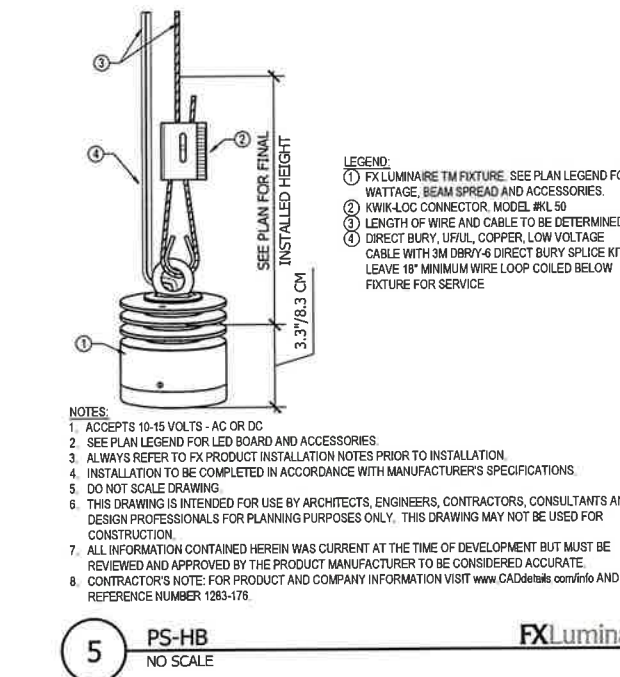
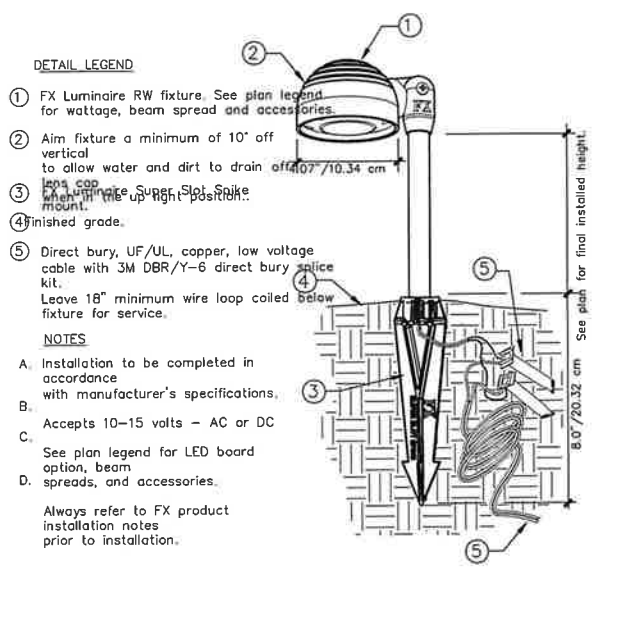
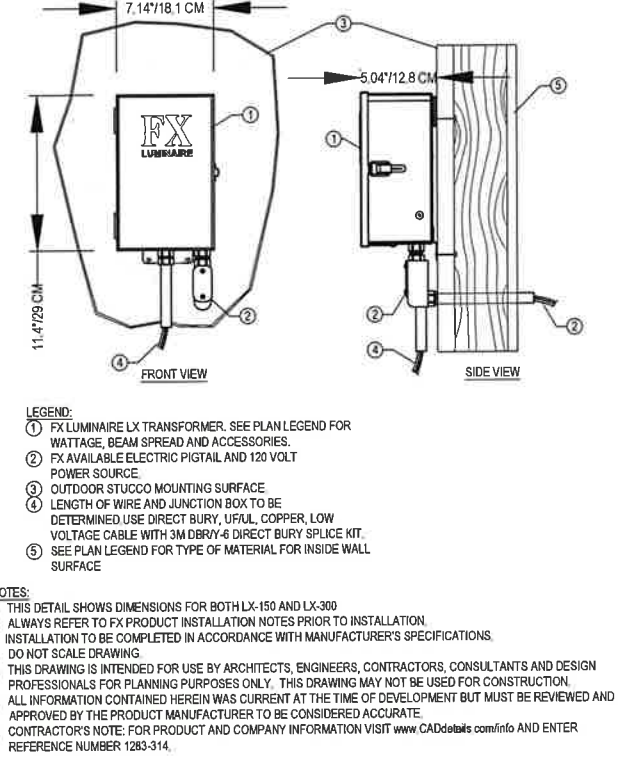
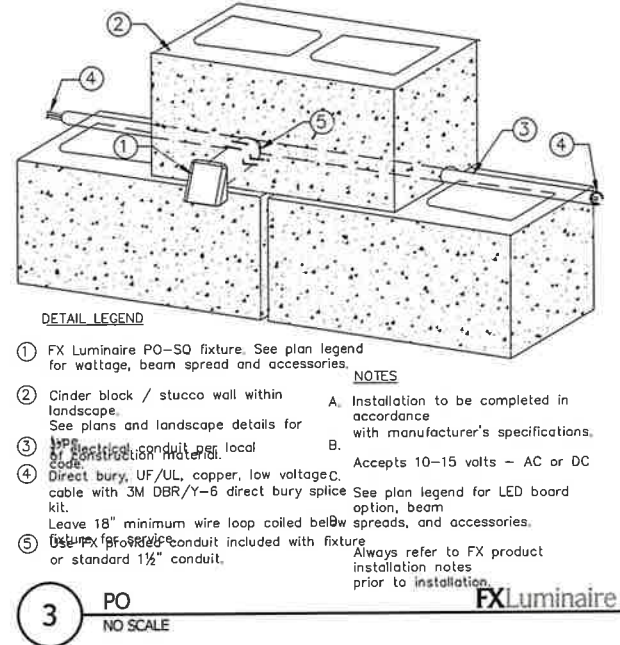
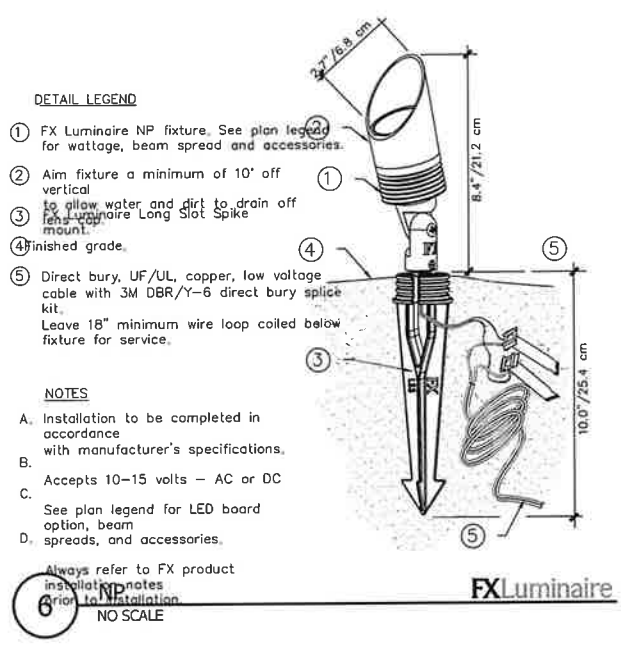
DATE 15 SEPTEMBER 2023
DRAWN BY: TA
CHECKED BY: JEFFREY F. GAMBONI
FILE: BAL 23-33 DWG

DRAWING STATUS

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DTL-4



This project shall comply with 2019 CRC, CPC, CMC, & CEC.

DRAWING STATUS

<input type="checkbox"/>	INFORMATION DWGS	(NOT FOR CONSTRUCTION)
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DATE 22 AUGUST 2023
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FILE: BAL 23-33 DWG

DTL-5

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 3012 PACIFIC AVENUE
 STOCKTON 95204
 209 948 8335

BALDUZZI RESIDENCE
 6333 Embarcadero Drive
 Stockton, CA

These drawings are not final and shall not be used for construction purposes until signed by Jeffrey F. Gamboni, Landscape Architect #2702. These plans and all contracts thereon are original, unpublished work and may not be duplicated, published or used in whole or part without prior written consent by Jeffrey F. Gamboni.

LIGHTING DETAILS

DATE REVISION SET



Exhibit E

Christopher H. Neudeck

From: Christopher H. Neudeck
Sent: Friday, January 26, 2024 8:36 AM
To: Chris Elias
Cc: apinasco@neumiller.com
Subject: RE: Meeting with USACE regarding Functionally Equivalent Alternative LSRFS & 14 Mile Reach

Great, thanks for the update.

From: Chris Elias <Chris.Elias@stocktonca.gov>
Sent: Friday, January 26, 2024 8:30 AM
To: Christopher H. Neudeck <cneudeck@ksninc.com>
Cc: apinasco@neumiller.com
Subject: Re: Meeting with USACE regarding Functionally Equivalent Alternative LSRFS & 14 Mile Reach

CAUTION: This email originated from outside the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

My meeting with the Commander got moved to Feb 26th. SJAFCFA is working up some draft doc for us. So, doc is still in progress. Thanks
Chris

Sent from my iPhone

On Jan 26, 2024, at 8:17 AM, Christopher H. Neudeck <cneudeck@ksninc.com> wrote:

CAUTION: This email originated from outside the City of Stockton. Do not click any links or open attachments if this is unsolicited email.
Chris,

Do you have an update on the status of this meeting?

<KSNIimage_a3afe5ac-15e6-4d8d-a624-76f7c4c84037.png> Christopher H. Neudeck , P.E.
President

711 N. Pershing Ave. Stockton CA 95203
p 209 946-0268 f 209 946-0296 m 209 481-0316 h 209 948-8479
cneudeck@ksninc.com www.ksninc.com

<SocialLink Facebook 32x32_7ec02e29-719c-4766-8390-a03ff1bb7f6b.png2

Item 11

SHORT TERM GOALS 2023

1. Renewal of District Assessment.
2. Participate in stakeholder groups. Status: Ongoing.
3. Work on slumping areas.
4. Monitor San Joaquin Feasibility Project.
5. Vegetation encroachments.
6. Annual Levee Inspection.
7. Repair/Maintenance of Gates on Crown of Southwest Levee.
8. Central Valley Flood Protection Plan.
9. Revise District Website.
10. Approve Emergency Operations Plan Update.
11. All-Weather Road Resurfacing.
12. Review and analysis of Levee Standards.
13. Proposition 218.

LONG TERM GOALS

1. Raising Elevation of Southwest Levee.
2. Prop 218 Assessment.
3. Sediment Removal Project.

Item 12

RD 1608: MASTER CALENDAR

JANUARY

FEBRUARY

- Annual Review of Trustee Compensation
- Send out Form 700s, remind Trustees of April 1 filing date

MARCH

- Yearly Employee Evaluations
- Spring Newsletter
- Review Insurance Proposal (Renews April)

APRIL

- April 1: Form 700s due
- Notify School District of Vegetation Control

MAY

- Draft Budget
- Planning of Levee Tour
- Annual CEQA Exemption
- Subventions Resolution

JUNE

- June 15: Provide notice/make available to the public, documentation/materials regarding determination of Appropriations (15 days prior to meeting at which Appropriations will be adopted) (*Government Code §7910*).
- Approve Audit Contract for expiring fiscal year
- Adopt the Final Budget

JULY

- Adopt Resolution for setting Appropriations and submit to County Assessor's Office.

AUGUST

- August 1: Deadline to certify assessments for tax-roll and deliver to County (duration of current assessment: FY 2025).
- Send handbills for collection of assessments for public entity-owned properties
- In election years, opening of period for secretary to receive petitions for nomination of Trustees (75 days from date of election.) (*Cal. Wat. Code §50731.5*)
- Submit End of the Year Financial Report.

SEPTEMBER

- In election years, last legal deadline to post notice that petitions for nomination of Trustees may be received (7 days prior to close of closure.) (*Cal. Wat. Code §50731.5*).
- In election years, closing of acceptance of petitions for nomination of Trustees (54 days from date of election.) (*Cal. Wat. Code §50731.5*).
- Letter to Property owners on levee regarding levee standards and permit requirements

OCTOBER

- Publish Notice of Election, odd numbered years (once per week, 4 times, commencing at least 1 month prior to election.)
- Fall Newsletter.
- Update District Information Sheet.
- Review District Emergency Supplies
- Emergency Plan Review in 2022 (every three years thereafter)
- Deadline to Notify Insurance of Non-Participation in JPRIMA for Subsequent Year

NOVEMBER

- Election: to be held first Tuesday after first Monday of each odd-numbered year.

DECEMBER

- New Trustee(s) take office, outgoing Trustee(s) term(s) end on first Friday of each odd-numbered year.
- Provide updated version of electronic copies of properties within District

Term of Current Board Members:

Name	Term Commenced	Term Ends
Dan MacDonnell	2021	First Friday of Dec 2025
Dottie Lofstrom	2023	First Friday of Dec 2025
Michael Panzer	2023	First Friday of Dec 2027

Assessment Expires 6/30/2025

Emergency Operation Plan Review – June 2022

Reclamation District Meetings

- **First Wednesday of each month, at 8:00 A.M.
at the offices of:
Neumiller & Beardslee
3121 W. March Lane, Suite 100
Stockton, California 95219**

Item 14

Reclamation District 1608
Bills for Approval - February 7, 2024, Board Meeting

NAME	Date	INVOICE #	AMOUNT	TOTAL \$	WARRANT #	CHECK #	RATIFICATION
Reclamation District 1608 (Transfer to Checking Account)	1/19/2024	Transfer to Checking	\$40,000.00	\$40,000.00	6783		X
Michael Panzer (2/7/2024 Board Mtg)	2/7/2024	Trustee Fee	\$299.92	\$299.92	6784		
Dan MacDonnell (2/7/2024 Board Mtg)	2/7/2024	Trustee Fee	\$299.92	\$299.92	6785		
Dottie Lofstrom (2/7/2024 Board Mtg)	2/7/2024	Trustee Fee	\$299.92	\$299.92	6786		
Elvia Trujillo (December 2023 Services)	2/7/2024	Secretary Fee	\$1,104.99	\$2,047.38	6787		
Elvia Trujillo (January 2024 Services)			\$942.39				
PG&E (Landview & Seagull)	12/20/2023	0950847867-5	\$4.80	\$70.98	6788		
PG&E (Stone River)		2999432760-8	\$66.18				
Neumiller & Beardslee	10/17/2023	344871	\$1,775.16	\$1,775.16	6772		
<i>This invoice/warrant was placed on hold at 11/1/2023 Mtg due to lack of funds</i>							
Neumiller & Beardslee	11/17/2023	345393	\$1,832.94	\$5,774.18	6789		
	12/11/2023	346047	\$2,531.55				
	1/11/2024	346625	\$1,409.69				
Kjeldsen, Sinnock & Neudeck	10/30/2023	36392	\$1,601.69	\$5,040.85	6776		
	10/30/2023	36393	\$2,579.16				
	10/30/2023	36394	\$481.25				
	10/30/2023	36395	\$378.75				
<i>This invoice/warrant was placed on hold at 11/1/2023 Mtg due to lack of funds</i>							

Reclamation District 1608
Bills for Approval - February 7, 2024, Board Meeting

Kjendsen, Sinnock & Neudeck	11/30/2023	36571	\$2,320.03			
	11/30/2023	36572	\$1,805.37			
	11/30/2023	36573	\$3,216.23			
	11/30/2023	36574	\$755.00			
	12/26/2023	36723	\$1,039.44			
	12/26/2023	36724	\$1,324.13			
	12/26/2023	36725	\$2,855.00			
	12/26/2023	36726	\$3,108.85			
	1/26/2024	36894	\$57.50			
	1/26/2024	36895	\$879.24			
	1/26/2024	36896	\$68.75			
	1/26/2024	36897	\$14,252.96			
	1/26/2024	36898	\$550.00			
				\$32,232.50	6790	
SJC Mosquito & Vector Control District	1/6/2024	SJ10038	\$39.25			
Assessment FY 2023-2024 (7/1/23-6/30/24)				\$39.25	6791	
BPM	12/1/2023	112914	\$101.65			
				\$101.65	6792	
Cal Mutuals	1/18/2024	2914	\$100.00			
				\$100.00	6793	
State Compensation Insurance Fund	12/30/2023	316359330	\$836.66	\$836.66		eCheck
ADP, Inc.	1/5/2024	749795758	\$82.76	\$82.76		Online
ADP, Inc.	1/19/2024	651326209	\$79.91	\$79.91		Online
ADP, Inc. (W-2s)	1/31/2024	651922855	\$114.40	\$114.40		Online
ADP, Inc. (FUTA Credit Reduction)	1/22/2024		\$193.00	\$193.00		Online
Bank of Stockton Visa	1/16/2023	11/27/2023-12/27/2023	\$2,731.25	\$2,731.25		Online
State of California Payroll Taxes		12/30/23 and 1/15/24 Payroll	\$606.50	\$606.50		Online
Federal Government Payroll Taxes		12/30/23 and 1/15/24 Payroll	\$2,992.98	\$2,992.98		Online

Reclamation District 1608
 Bills for Approval - February 7, 2024, Board Meeting

Joe L. Bryson (Payroll)	12/29/2023	12/1/23-12/31/23	\$5,311.01	\$5,311.01		Direct Deposit
Roger Lamarra (Payroll)	12/29/2023	12/16/23-12/31/23	\$612.72	\$612.72		Direct Deposit
Roger Lamarra (Payroll)	1/15/2024	1/1/2024-1/15/2024	\$447.12	\$447.12		Direct Deposit
Ruby Jeff (Payroll)	12/29/2023	12/16/2023-12/31/23	\$612.72	\$612.72		Direct Deposit
Ruby Jeff (Payroll)	1/15/2024	1/1/2024-1/15/2024	\$574.87	\$574.87		Direct Deposit
Joe C. Godinez Sr. (Payroll)	12/29/2023	12/16/23-12/31/23	\$450.36	\$450.36		1612
California State Disbursement Unit	12/29/2023	Child Support	\$330.00	\$330.00		ADP Processed
(J Godinez Sr. Income Withholding)						
Joe C. Godinez Sr. (Payroll)	1/16/2024	1/1/2024-1/15/2024	\$289.40	\$289.40		1613
California State Disbursement Unit	1/16/2024	Child Support	\$289.40	\$289.40		ADP Processed
(J Godinez Sr. Income Withholding)						
		WARRANT TOTAL:		\$88,081.71		
		CHECKING TOTAL:		\$16,555.06		
		TOTAL BILLS PAID		\$104,636.77		

Reclamation District 1608
Bills Paid in December (No Warrants, January Mtg Cancelled)

NAME	Date	INVOICE #	AMOUNT	TOTAL \$	WARRANT #	CHECK #	RATIFICATION
ADP, Inc.	12/8/2023	647878881	\$82.76	\$82.76		Online	X
ADP, Inc.	12/22/2023	748968467	\$79.91	\$79.91		Online	X
State Compensation Insurance Fund	12/1/2023	309064402	\$836.66	\$836.66		eCheck	X
Bank of Stockton Visa	12/19/2023	10/28/2023-11/26/2023	\$1,887.77	\$1,887.77		Online	X
State of California Payroll Taxes		11/30/23 and 12/15/23 Payroll	\$629.41	\$629.41		Online	X
Federal Government Payroll Taxes		11/30/23 and 12/15/23 Payroll	\$3,310.27	\$3,310.27		Online	X
Joe L. Bryson (Payroll)	12/1/2023	11/1/23-11/30/23	\$5,619.12	\$5,619.12		Direct Deposit	X
Roger Lamarra (Payroll)	12/1/2023	11/16/23-11/30/23	\$750.17	\$750.17		Direct Deposit	X
Roger Lamarra (Payroll)	12/15/2023	12/1/2023-12/15/2023	\$741.25	\$741.25		Direct Deposit	X
Ruby Jeff (Payroll)	12/1/2023	11/16/2023-11/31/23	\$658.44	\$658.44		Direct Deposit	X
Ruby Jeff (Payroll)	12/15/2023	12/1/2023-12/15/2023	\$749.89	\$749.89		Direct Deposit	X
Joe C. Godinez Sr. (Payroll)	12/1/2023	11/16/23-11/30/23	\$450.32	\$450.32		1610	X
California State Disbursement Unit (J Godinez Sr. Income Withholding)	12/1/2023	Child Support	\$330.00	\$330.00		ADP Processed	X
Joe C. Godinez Sr. (Payroll)	12/15/2023	12/1/2023-12/15/2023	\$319.02	\$319.02		1611	X
California State Disbursement Unit (J Godinez Sr. Income Withholding)	12/15/2023	Child Support	\$319.02	\$319.02		ADP Processed	X
		WARRANT TOTAL:		\$0.00			
		CHECKING TOTAL:		\$16,764.01			
		TOTAL BILLS PAID		\$16,764.01			